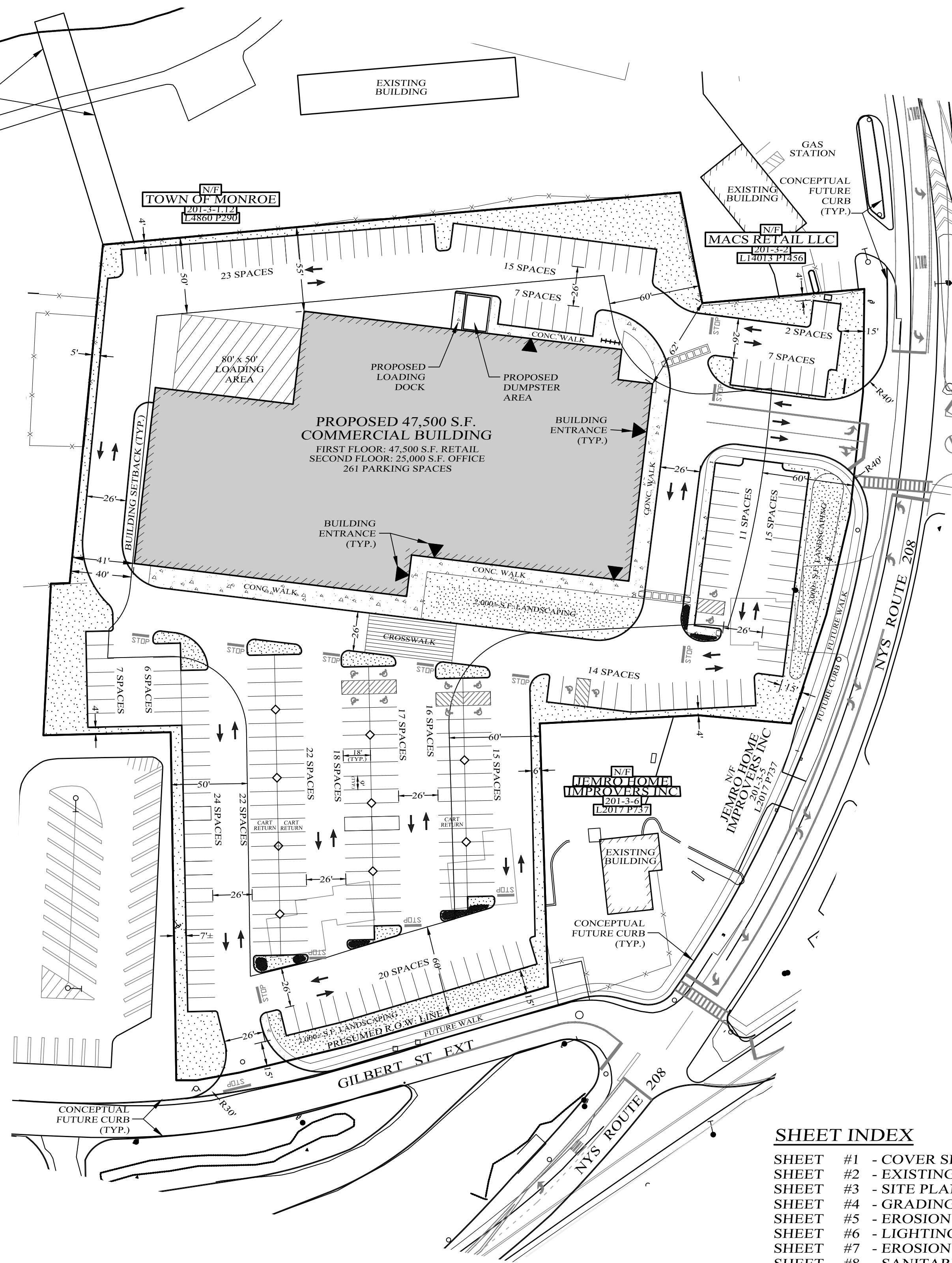




ORANGE & ROCKLAND LAKE

APPROXIMATE LOCATION EXISTING DRAINAGE EASEMENT TO THE BENEFIT OF 208 BUSINESS CENTER



LOCATION MAP
SCALE 1" = 2000'

**VILLAGE OF MONROE
BULK REQUIREMENTS**
"GB" ZONING DISTRICT
(WITH CENTRAL WATER AND SEWER)
RETAIL / OFFICE USE

	MINIMUM REQUIRED	PROPOSED
LOT AREA (SF.)	20,000	221,120
LOT WIDTH (FT.)	50	280±
FRONT SETBACK (FT.)	60	62±
REAR SETBACK (FT.)	40	41±
ONE SIDE SETBACK (FT.)	50	55±
TOTAL SIDE SETBACKS (FT.)	80	NA
MAXIMUM ALLOWED		
BUILDING HEIGHT (FT.)	35	35
LOT COVERAGE (%)	25	21.5

PARKING CALCULATION

OFFICE BUILDING	2.79 SPACES PER 1,000 S.F. BLDG. AREA
RETAIL	3.97 SPACES PER 1,000 S.F. BLDG. AREA
47,500 S.F. 1ST FLOOR RETAIL	47,500 S.F. x 3.97 / 1,000 S.F. = 188
188 PARKING SPACES	
25,000 S.F. 2ND FLOOR OFFICE	25,000 S.F. x 2.79 / 1,000 S.F. = 70
70 PARKING SPACES	
PARKING SPACES REQUIRED = 258	
PARKING SPACES PROVIDED = 261	
HANDICAPPED PARKING SPACES REQUIRED = 1 SPACE PER 25 SPACES	
HANDICAPPED PARKING SPACES REQUIRED = 261 / 25 SPACES = 10.4 SPACES	
HANDICAPPED PARKING SPACES PROVIDED = 12	
TOTAL PARKING SPACES PROVIDED = 261	

GENERAL NOTES:

- VILLAGE OF MONROE TAX MAP DESIGNATIONS: SEC. 201, BLK. 3, LOTS 3, 4, 7 & 8.
- PARCELS (LOTS 3, 4, 7 & 8) ARE PROPOSED TO BE CONSOLIDATED INTO 1 PARCEL.
- TOTAL AREA OF PARCELS = 221,120 ± S.F.
- ALL PARCELS SITUATED IN THE "GB" ZONING DISTRICT.
- BOUNDARY INFORMATION TAKEN FROM PROPERTY SURVEY PROVIDED BY: ED GANNON, PLS, BLOOMING GROVE, NY.
- TWO FOOT AERIAL TOPOGRAPHY PROVIDED BY PROMAPS, INC., MOORESTOWN NJ.

APPLICANT

208 BUSINESS CENTER, LLC
P.O. BOX 335
CENTRAL VALLEY, NY 10917

OWNER

SEC. 201, BLK. 3, LOT 3 208 BUSINESS CENTER, LLC
P.O. BOX 335
5 CORPORATE DRIVE, #100
CENTRAL VALLEY, NY 10917

SEC. 201, BLK. 3, LOT 4 401 ROUTE 208, LLC
P.O. BOX 335
5 CORPORATE DRIVE, #100
CENTRAL VALLEY, NY 10917

SEC. 201, BLK. 3, LOT 7 23 GILBERT, LLC
P.O. BOX 335
5 CORPORATE DRIVE, #100
CENTRAL VALLEY, NY 10917

SEC. 201, BLK. 3, LOT 8 23 GILBERT, LLC
P.O. BOX 335
5 CORPORATE DRIVE, #100
CENTRAL VALLEY, NY 10917

SHEET INDEX

- SHEET #1 - COVER SHEET
- SHEET #2 - EXISTING CONDITIONS MAP
- SHEET #3 - SITE PLAN
- SHEET #4 - GRADING & UTILITY PLAN
- SHEET #5 - EROSION CONTROL PLAN
- SHEET #6 - LIGHTING PLAN
- SHEET #7 - EROSION CONTROL DETAILS
- SHEET #8 - SANITARY DETAILS
- SHEET #9 - SITE DETAILS
- SHEET #10 - DRAINAGE DETAILS
- SHEET #11 - STORM CHAMBER DETAILS
- SHEET #12 - TRUCK TURNING PLAN
- SHEET #13 - LANDSCAPE PLANS
- SHEET #14 - LANDSCAPE DETAILS
- SHEET #15 - TREE SURVEY

LANDSCAPED AREA CALCULATION

LANDSCAPING REQUIRED = 10% OF PARKING AREA
PARKING AREA = PARKING SPACES x PARKING STALL AREA
PARKING AREA = 260 SPACES x 162 S.F.
PARKING AREA = 42,120 S.F.

LANDSCAPING REQUIRED = 10% OF PARKING AREA
LANDSCAPING REQUIRED = 10% OF 42,120 S.F. = (0.10 x 42,120)

LANDSCAPING REQUIRED = 4,212 S.F.

LANDSCAPING PROVIDED = 6,000 ± S.F.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING 2' CONTOUR LINE
- EXISTING 10' CONTOUR LINE
- PROPOSED EDGE OF PAVEMENT
- EXISTING EDGE OF PAVEMENT
- BUILDING SETBACK LINE
- EXISTING FENCE
- EXISTING UTILITY POLE
- PROPOSED TREE

GRAPHIC SCALE



(IN FEET)
1 inch = 50 ft.

Lands of
**208
BUSINESS CENTER**
VILLAGE OF MONROE, ORANGE COUNTY, NEW YORK

PROJECT TITLE

COVER SHEET

DRAWING TITLE

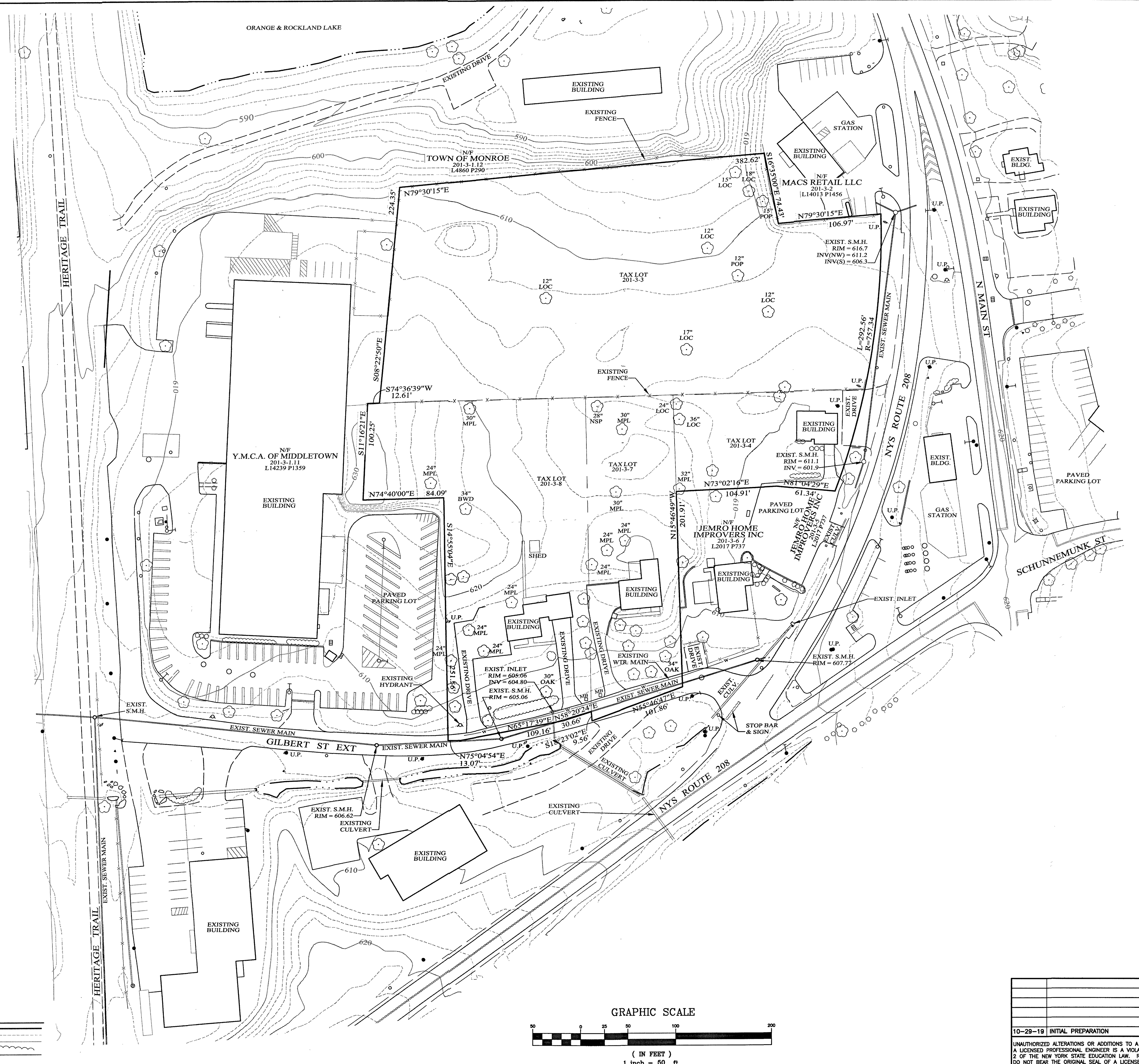
KIRK ROTHER, P.E.
CONSULTING ENGINEER, PLLC
5 St. Stephens Lane, Warwick, NY 10990
(845) 988-0620

KIRK ROTHER, P.E. N.Y.S. LIC. NO. 078063 DATE

D.O.T. SHEET #	D.E.C. SHEET #	O.C.H.D. SHEET #	SHEET #
N.A.	N.A.	N.A.	1 OF 15
CAD #	PROJECT #	SCALE	
18118 SP	18118	AS SHOWN	

04-19-23	REV PER DEIS COMMENTS
03-28-23	REV PER DEIS COMMENTS
12-22-22	REV PER DEIS COMMENTS
09-29-20	REV PER COMMENTS
07-30-19	REV LAYOUT PER COMMENTS
11-15-19	REV PER COMMENTS
10-29-19	REV PER COMMENTS
10-15-19	REV. BULK REQ. TABLE
07-30-19	REV. PARKING LOT
06-25-19	ADDED PARCEL & REVISED BUILDING SIZE
01-18-19	REVISE TO SINGLE LARGER BUILDING
01-07-19	INCLUDE ADDITIONAL PARCEL & ADD BUILDING
11-16-18	INITIAL PREPARATION

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. REPRODUCTIONS OF THIS PLAN WHICH DO NOT BEAR THE ORIGINAL SEAL OF A LICENSED PROFESSIONAL ENGINEER SHALL BE CONSIDERED INVALID.



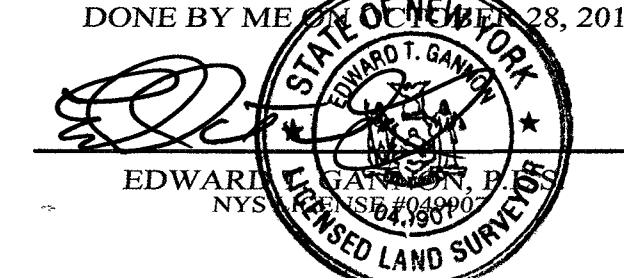
TOTAL AREA OF PARCELS
221,120 ± S.F. (5.08 ± AC.)

SURVEY NOTES:

1. UNAUTHORIZED ALTERATION TO A SURVEY MAP BEARING THE SEAL OF A LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE N.Y.S. EDUCATION LAW.
2. CERTIFICATIONS SHOWN HEREON INDICATE THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH CURRENT CODES OF PRACTICE FOR LAND SURVEYS AS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS OR HER BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
3. UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS, IF ANY, ARE NOT SHOWN HEREON AND ARE NOT CERTIFIED HERETO.
4. SUBJECT TO A VALID, CURRENT ABSTRACT OF TITLE.
5. SUBJECT TO ANY UNWRITTEN OR UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, AGREEMENTS OR OTHER INSTRUMENTS.
6. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED OR EMBOSSED SEAL SHALL BE CONSIDERED TRUE VALID COPIES.
7. CERTIFICATION HEREON IS STRICTLY LIMITED TO BOUNDARY SURVEY ONLY.
8. AERIAL TOPOGRAPHIC SURVEY PROVIDED BY PROMAPS, INC. DATE OF FLIGHT DECEMBER, 2018.
9. EXISTING FEATURES SHOWN HEREON, EXCLUSIVE OF THE PROPERTY BOUNDARY SURVEY, PREPARED BY KIRK ROTHER, P.E., PLLC.

EDWARD T. GANNON, P.L.S.
CHERRY HILL ROAD ~ BLOOMING GROVE, NY 10914
PHONE AND FAX (845) 497-8383

I HEREBY CERTIFY THAT THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY DONE BY ME OR MY ASSISTANT ON 08/28, 2019



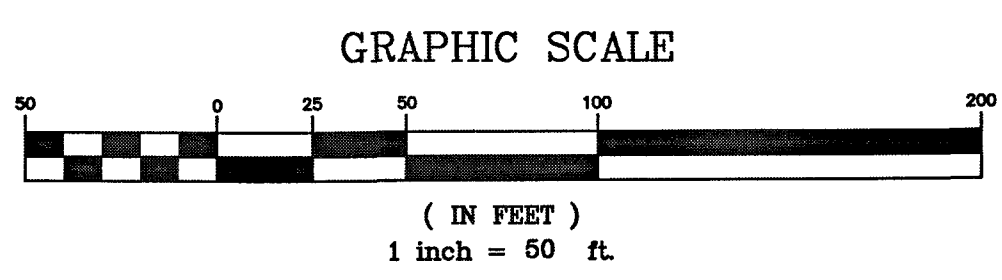
Lands of
208 BUSINESS CENTER
VILLAGE OF MONROE, ORANGE COUNTY, NEW YORK
PROJECT TITLE

EXISTING CONDITIONS MAP
DRAWING TITLE

KIRK ROTHER, P.E.
CONSULTING ENGINEER, PLLC
5 St. Stephens Lane, Warwick, NY 10990
(845) 988-0620

LEGEND

- EXISTING PROPERTY LINE
- EXISTING 2' CONTOUR LINE
- EXISTING 10' CONTOUR LINE
- EXISTING TREE LINE
- EXISTING EDGE OF PAVEMENT
- EXISTING UTILITY POLE

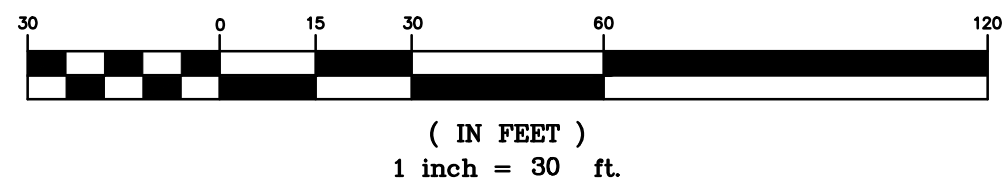


10-29-19	INITIAL PREPARATION	KIRK ROTHER, P.E.	N.Y.S. LIC. NO. 079053	DATE
D.O.T. SHEET #	D.E.C. SHEET #	O.C.H.D. SHEET #	SHEET #	
N.A.	N.A.	N.A.	2 OF 2	
CAD #	PROJECT #	SCALE		
18118 SP	18118	AS SHOWN		

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. REPRODUCTIONS OF THIS PLAN WHICH DO NOT BEAR THE ORIGINAL SEAL OF A LICENSED PROFESSIONAL ENGINEER SHALL BE CONSIDERED INVALID.



GRAPHIC SCALE



LEGEND

- EXISTING PROPERTY LINE
- EXISTING 2' CONTOUR LINE
- EXISTING 10' CONTOUR LINE
- PROPOSED EDGE OF PAVEMENT
- EXISTING EDGE OF PAVEMENT
- BUILDING SETBACK LINE
- EXISTING FENCE
- EXISTING UTILITY POLE
- PROPOSED TREE

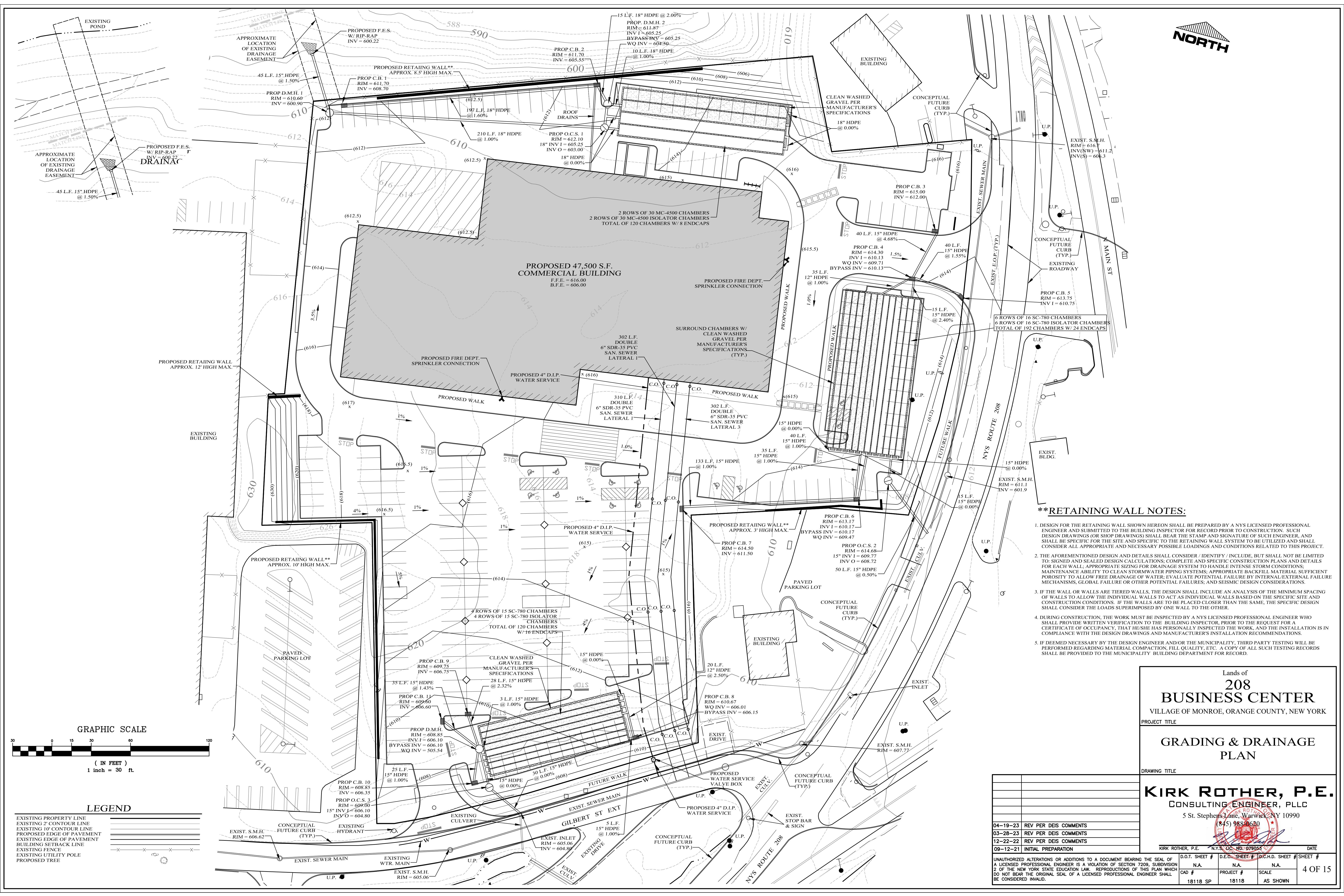
Lands of
208
BUSINESS CENTER
 VILLAGE OF MONROE, ORANGE COUNTY, NEW YORK
 PROJECT TITLE

SITE PLAN
 DRAWING TITLE

KIRK ROTHER, P.E.
 CONSULTING ENGINEER, PLLC
 5 St. Stephens Lane, Warwick, NY 10990
 (845) 988-0620

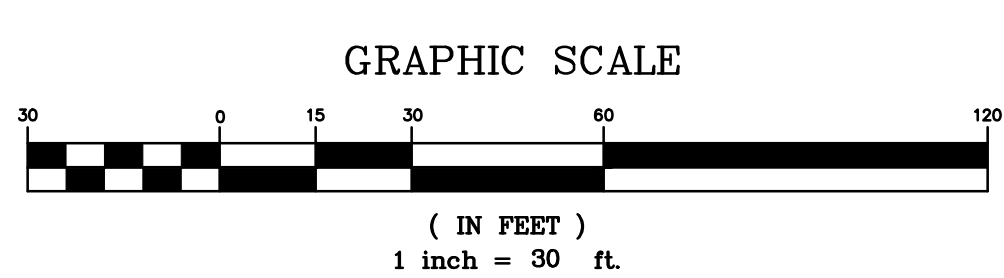
04-19-23	REV PER DEIS COMMENTS
03-28-23	REV PER DEIS COMMENTS
12-22-22	REV PER DEIS COMMENTS
09-12-21	INITIAL PREPARATION

KIRK ROTHER, P.E.	NYS/LS. NO. 079653	DATE
D.O.T. SHEET #	D.E.C. SHEET #	O.C.H.D. SHEET #
N.A.	N.A.	N.A.
CAD #	PROJECT #	SCALE
18118 SP	18118	AS SHOWN



****RETAINING WALL NOTES:**

- DESIGN FOR THE RETAINING WALL SHOWN HEREON SHALL BE PREPARED BY A NYS LICENSED PROFESSIONAL ENGINEER AND SUBMITTED TO THE BUILDING INSPECTOR FOR RECORD PRIOR TO CONSTRUCTION. SUCH DESIGN DRAWINGS (OR SHOP DRAWINGS) SHALL BEAR THE STAMP AND SIGNATURE OF SUCH ENGINEER AND SHALL BE SPECIFIC FOR THE SITE AND SPECIFIC TO THE RETAINING WALL SYSTEM TO BE UTILIZED AND SHALL CONSIDER ALL APPROPRIATE AND NECESSARY POSSIBLE LOADINGS AND CONDITIONS RELATED TO THIS PROJECT.
- THE AFOREMENTIONED DESIGN AND DETAILS SHALL CONSIDER / IDENTIFY / INCLUDE, BUT SHALL NOT BE LIMITED TO: SIGNED AND SEALED DESIGN CALCULATIONS, COMPLETE AND SPECIFIC CONSTRUCTION PLANS AND DETAILS FOR EACH WALL; APPROPRIATE SIZING FOR DRAINAGE SYSTEM TO HANDLE INTENSE STORM CONDITIONS; MAINTENANCE ABILITY TO CLEAN STORMWATER PIPING SYSTEMS; APPROPRIATE BACKFILL MATERIAL SUFFICIENT POROSITY TO ALLOW FREE DRAINAGE OF WATER; EVALUATE POTENTIAL FAILURE BY INTERNAL/EXTERNAL FAILURE MECHANISMS, GLOBAL FAILURE OR OTHER POTENTIAL FAILURES; AND SEISMIC DESIGN CONSIDERATIONS.
- IF THE WALL OR WALLS ARE TIERED WALLS, THE DESIGN SHALL INCLUDE AN ANALYSIS OF THE MINIMUM SPACING OF WALLS TO ALLOW THE INDIVIDUAL WALLS TO ACT AS INDIVIDUAL WALLS BASED ON THE SPECIFIC SITE AND CONSTRUCTION CONDITIONS. IF THE WALLS ARE TO BE PLACED CLOSER THAN THE SAME, THE SPECIFIC DESIGN SHALL CONSIDER THE LOADS SUPERIMPOSED BY ONE WALL TO THE OTHER.
- DURING CONSTRUCTION, THE WORK MUST BE INSPECTED BY A NYS LICENSED PROFESSIONAL ENGINEER WHO SHALL PROVIDE WRITTEN VERIFICATION TO THE BUILDING INSPECTOR, PRIOR TO THE REQUEST FOR A CERTIFICATE OF OCCUPANCY, THAT HE/SHE HAS PERSONALLY INSPECTED THE WORK, AND THE INSTALLATION IS IN COMPLIANCE WITH THE DESIGN DRAWINGS AND MANUFACTURER'S INSTALLATION RECOMMENDATIONS.
- IF DEEMED NECESSARY BY THE DESIGN ENGINEER AND/OR THE MUNICIPALITY, THIRD PARTY TESTING WILL BE PERFORMED REGARDING MATERIAL COMPACTION, FILL QUALITY, ETC. A COPY OF ALL SUCH TESTING RECORDS SHALL BE PROVIDED TO THE MUNICIPALITY BUILDING DEPARTMENT FOR RECORD.



LEGEND

EXISTING PROPERTY LINE	---
EXISTING 2' CONTOUR LINE	---x---
EXISTING 10' CONTOUR LINE	---x---x---
PROPOSED EDGE OF PAVEMENT	---
EXISTING EDGE OF PAVEMENT	---
BUILDING SETBACK LINE	---
EXISTING FENCE	---
EXISTING UTILITY POLE	---
PROPOSED TREE	---

Lands of
208
BUSINESS CENTER
 VILLAGE OF MONROE, ORANGE COUNTY, NEW YORK
 PROJECT TITLE

GRADING & DRAINAGE
PLAN
 DRAWING TITLE

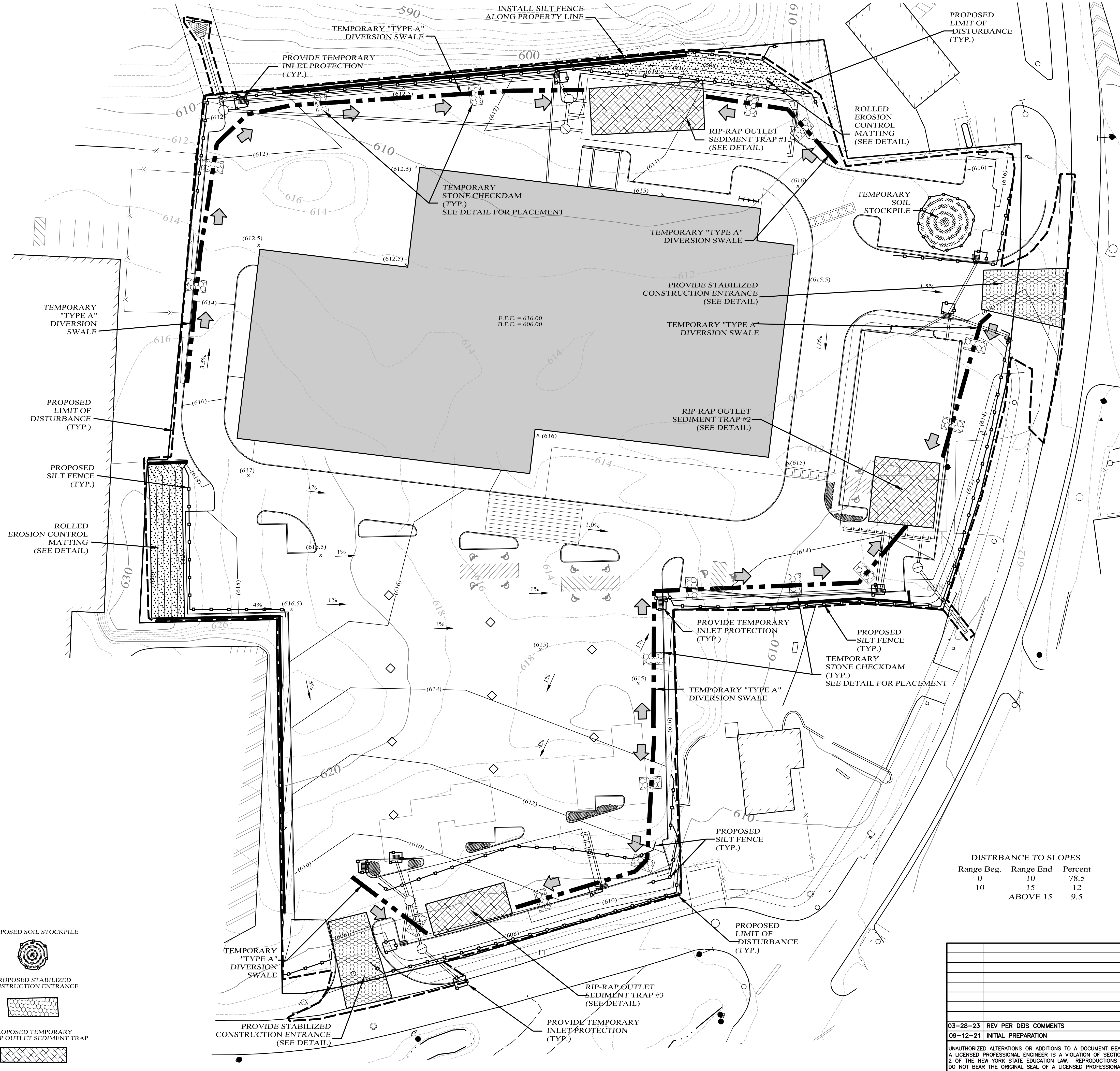
KIRK ROTHER, P.E.
 CONSULTING ENGINEER, PLLC
 5 St. Stephens Lane, Warwick, NY 10990
 (845) 988-0620

04-19-23	REV PER DEIS COMMENTS
03-28-23	REV PER DEIS COMMENTS
12-22-22	REV PER DEIS COMMENTS
09-12-21	INITIAL PREPARATION

KIRK ROTHER, P.E. N.Y.S. REG. NO. 079954 DATE

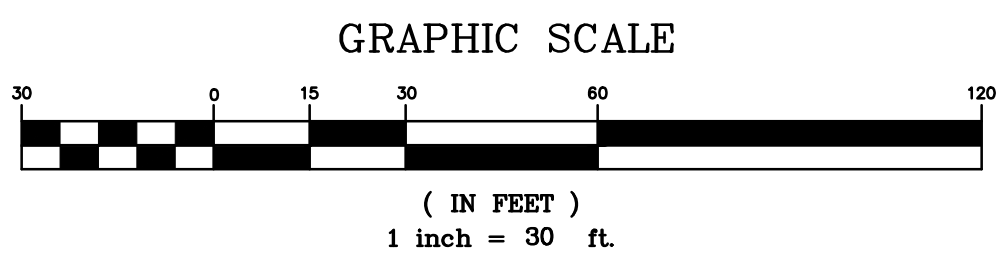
D.O.T. SHEET #	D.E.C. SHEET #	D.C.H.D. SHEET #	SHEET #
N.A.	N.A.	N.A.	4 OF 15
CAD #	PROJECT #	SCALE	
18118 SP	18118	AS SHOWN	

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DISTRBANCE TO SLOPES

Range Beg.	Range End	Percent
0	10	78.5
10	15	12
	ABOVE 15	9.5



- LEGEND
- EXISTING PROPERTY LINE
 - EXISTING 2' CONTOUR LINE
 - EXISTING 10' CONTOUR LINE
 - PROPOSED EDGE OF PAVEMENT
 - EXISTING EDGE OF PAVEMENT
 - BUILDING SETBACK LINE
 - EXISTING FENCE
 - EXISTING UTILITY POLE
 - PROPOSED STONE CHECK DAM
 - PROPOSED DIVERSION SWALE
 - PROPOSED SOIL STOCKPILE
 - PROPOSED STABILIZED CONSTRUCTION ENTRANCE
 - PROPOSED TEMPORARY RIP-RAP OUTLET SEDIMENT TRAP

Lands of
208 BUSINESS CENTER
VILLAGE OF MONROE, ORANGE COUNTY, NEW YORK

PROJECT TITLE

EROSION CONTROL PLAN

DRAWING TITLE

KIRK ROTHER, P.E.
CONSULTING ENGINEER, PLLC
5 St. Stephens Lane, Warwick, NY 10990
(845) 988-0620

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03-28-23	REV PER DEIS COMMENTS			
09-12-21	INITIAL PREPARATION			

D.O.T. SHEET #	D.E.C. SHEET #	D.C.H.D. SHEET #	SHEET #
N.A.	N.A.	N.A.	5 OF 15
CAD #	PROJECT #	SCALE	
18118 SP	18118	AS SHOWN	

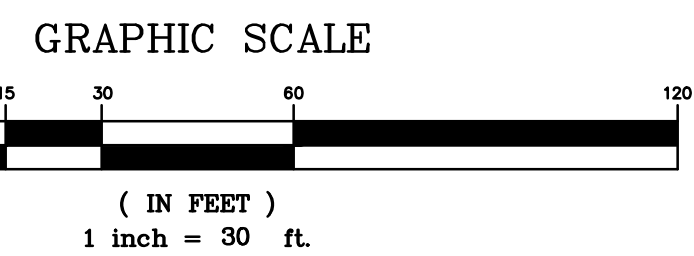


Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
⊠	14	ALEDS4T_80w	SINGLE	N.A.	1.000	Pole Mount
⊠	2	ALEDS4T_80w 2 @ 180	BACK-BACK	N.A.	1.000	Pole Mount
⊠	2	ALEDS4T_80w 4 @ 90	4 @ 90°	N.A.	1.000	Pole Mount
⊠	21	WPLEDFC80	SINGLE	N.A.	1.000	Wall Mount

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Max/Min
CalcPts Ground	ILLUMINANCE	Fc	0.64	12.9	0.0	N.A.
CalcPts Property Line	ILLUMINANCE	Fc	0.38	1.9	0.0	N.A.
StatArea Back Lot	ILLUMINANCE	Fc	3.43	7.0	0.5	6.86
StatArea Front Lot	ILLUMINANCE	Fc	3.00	12.9	0.6	5.00
StatArea Loading Dock	ILLUMINANCE	Fc	4.69	8.0	1.5	3.13
StatArea Side Lots	ILLUMINANCE	Fc	2.03	6.5	0.3	6.77

Expanded Luminaire Location Summary						
LumNo	Tag	X	Y	MTG HT	Orient	Tilt
1	B	577082.5	912452.9	25	98.222	0
2	B	577132.0	912460.0	25	98.222	0
3	B	577152.4	912499.7	25	187.211	0
4	B	577154.7	912525.6	25	96.583	0
5	B	577204.2	912532.6	25	96.583	0
6	B	577253.7	912539.7	25	96.583	0
7	B	577303.2	912546.8	25	96.583	0
8	B	577352.7	912553.8	25	96.583	0
9	B	577360.3	912545.4	25	6.333	0
10	B	577386.0	912528.5	25	5.316	0
11	B	577393.0	912479	25	5.316	0
12	B	577400.0	912429.4	25	5.316	0
13	B	577387.7	912405.0	25	277.454	0
14	B	577338.2	912397.8	25	277.454	0
15	B	577288.7	912390.7	25	277.454	0
16	B	577251.5	912357.6	25	276.942	0
17	B	577202.0	912350.6	25	276.942	0
18	B	577152.5	912343.7	25	276.942	0
19	B	577103.0	912336.7	25	276.942	0
20	B	577079.0	912366.1	25	185.383	0
21	B	577071.9	912415.6	25	185.383	0
22	A	577072.2	912251.8	20	13.885	0
23	A	577144.0	912227.3	20	12.738	0
24	A	577165.0	912155.3	20	12.738	0
25	A	577186.0	912083.3	20	12.738	0
26	A4	577265.6	912266.1	20	15.573	0
26	A4	577262.9	912267.6	20	105.573	0
26	A4	577261.4	912264.9	20	195.573	0
26	A4	577264.1	912263.4	20	285.573	0
27	A4	577290.7	912179.8	20	15.573	0
27	A4	577288.0	912181.3	20	105.573	0
27	A4	577286.5	912178.6	20	195.573	0
27	A4	577289.2	912177.0	20	285.573	0
28	A2	577365.3	912328.9	20	18.801	0
28	A2	577361.1	912327.5	20	198.801	0
29	A	577379.8	912250.0	20	193.681	0
30	A	577400.7	912178.0	20	193.681	0
31	A	577256.8	912050.6	20	117.182	0
32	A	577320.4	912090.3	20	117.182	0
33	A	577384.0	912130.1	20	117.182	0
34	A	577475.4	912339.7	20	103.686	0
35	A	577509.0	912446.9	20	185.85	0
36	A	577055.6	912545.5	20	292.068	0
37	A	577224.6	912600.3	20	286.19	0
38	A	577309.9	912621.4	20	279.926	0
39	A2	577467.4	912553.7	20	101.31	0
39	A2	577468.2	912549.4	20	281.31	0

Total Quantity: 47



LEGEND

EXISTING PROPERTY LINE	———
EXISTING 2' CONTOUR LINE	———
EXISTING 10' CONTOUR LINE	———
PROPOSED EDGE OF PAVEMENT	———
EXISTING EDGE OF PAVEMENT	———
BUILDING SETBACK LINE	———
EXISTING FENCE	———
EXISTING UTILITY POLE	———
PROPOSED TREE	○

Lands of
208
BUSINESS CENTER
 VILLAGE OF MONROE, ORANGE COUNTY, NEW YORK

PROJECT TITLE

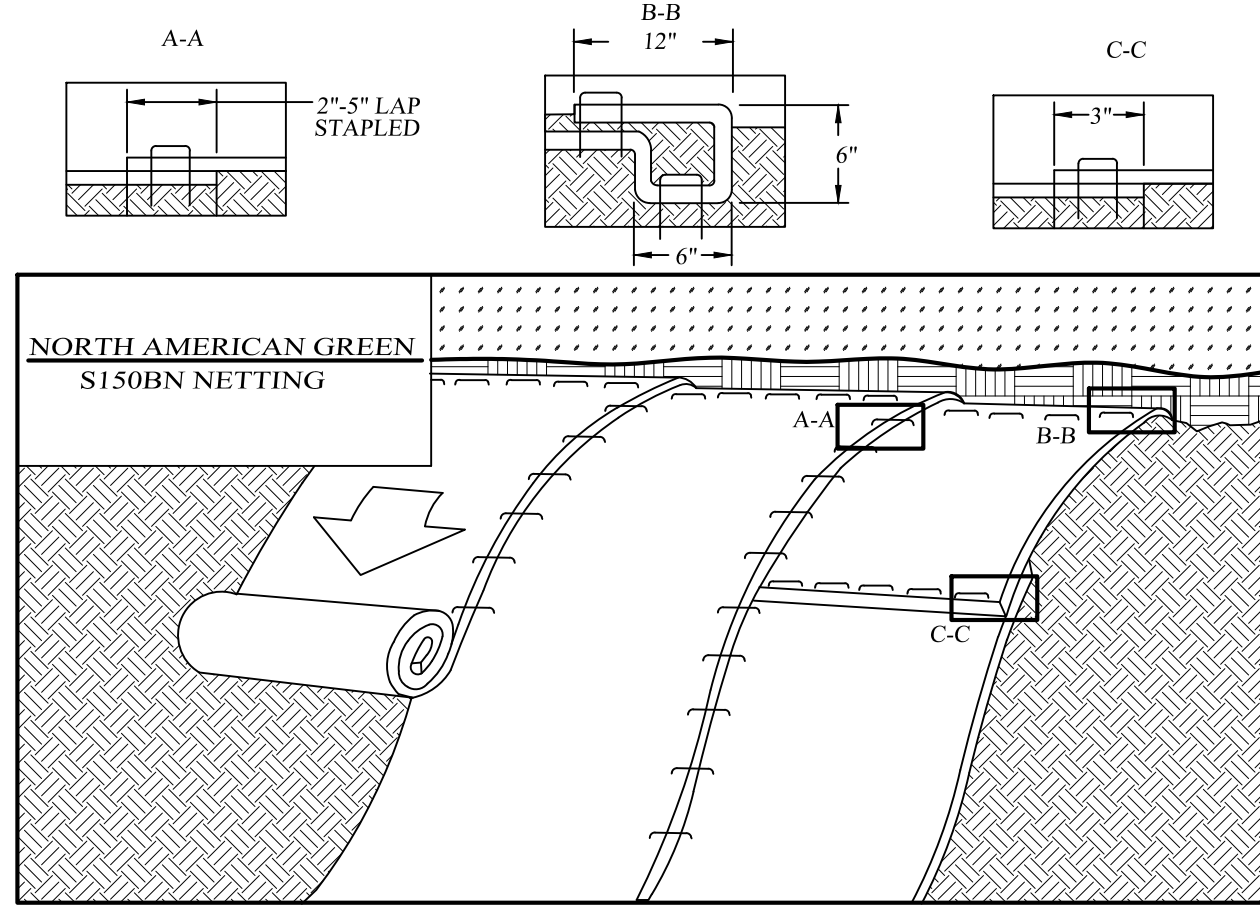
LIGHTING PLAN

DRAWING TITLE

KIRK ROTHER, P.E.
 CONSULTING ENGINEER, PLLC
 5 St. Stephens Lane, Warwick, NY 10990
 (845) 938-0620

12--22--22 INITIAL PREPARATION

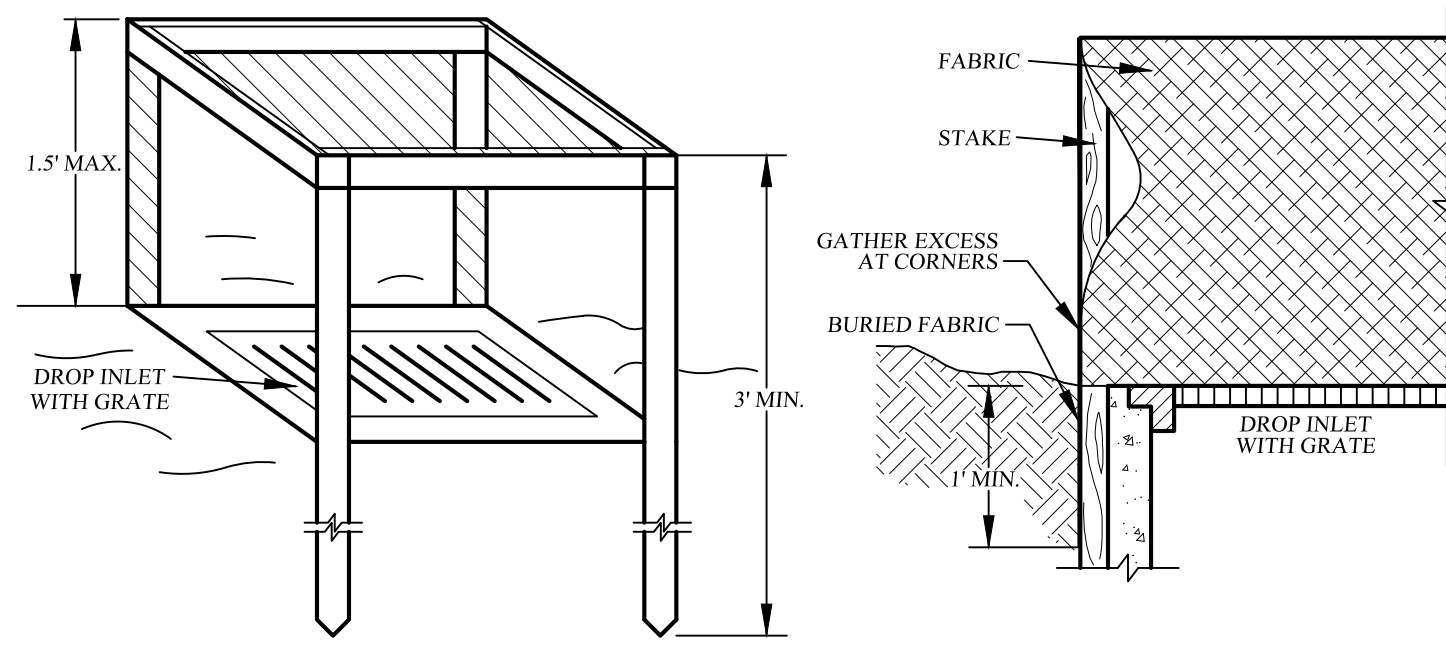
D.O.T. SHEET #	D.E.C. SHEET #	O.C.H.D. SHEET #	SHEET #
N.A.	N.A.	N.A.	6 OF 15
CAD #	PROJECT #	SCALE	
18118 SP	18118	AS SHOWN	



CONSTRUCTION SPECIFICATIONS:

1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECPs), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN. A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE ADDED PRIOR TO STABILIZATION.
 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECPs IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) OF RECPs EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECPs WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECPs BACK OVER SEED AND COMPACTED SOIL. SECURE RECPs OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECPs.
 3. ROLL THE RECPs (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECPs WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECPs MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 4. THE EDGES OF PARALLEL RECPs MUST BE STAPLED WITH APPROXIMATELY 2" X 5" (5 CM X 12.5 CM) OVERLAP DEPENDING ON RECPs TYPE.
 5. CONSECUTIVE RECPs SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAP AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE RECPs WIDTH.
- NOTE:
*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECPs.

ROLLED EROSION CONTROL MATTING SLOPE STABILIZATION DETAIL
NOT TO SCALE



CONSTRUCTION SPECIFICATIONS:

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" X 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM OF 18" DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2" X 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVERFLOW STABILIZATION.

FILTER FABRIC DROP INLET PROTECTION DETAIL
NOT TO SCALE

PERMANENT SEEDING MIXTURES

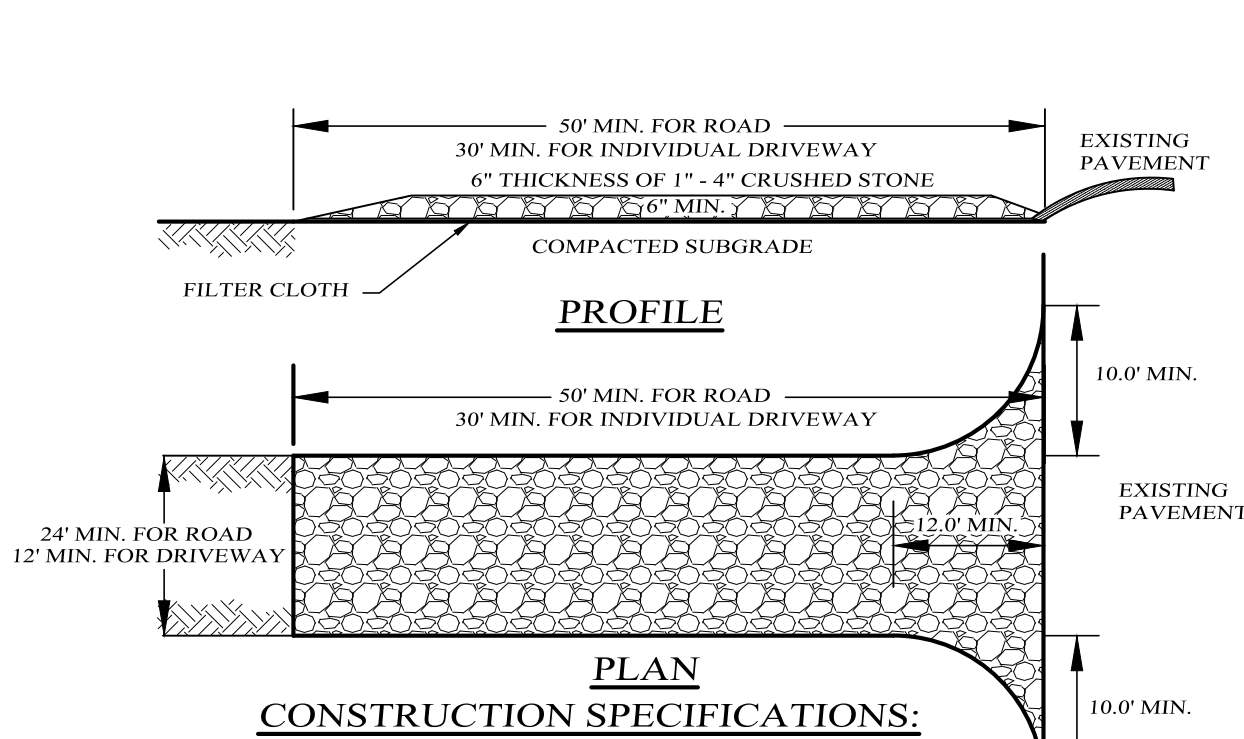
MODERATE TO STEEP SLOPES AND LOW MAINTENANCE AREAS		SHADY DRY SITES (WELL TO SOMEWHAT POORLY DRAINED SOILS)	
SPECIES	APPLICATION RATE	SPECIES	APPLICATION RATE
EMPIRE BIRDSFOOT TREFOL	8 LBS/ACRE	80% SHADE TOLERANT KENTUCKY BLUEGRASS BLEND	105-138 LBS/ACRE
TALL FESCUE	20 LBS/ACRE	20% PERENNIAL RYEGRASS	25-37 LBS/ACRE
RYEGRASS	5 LBS/ACRE		
GENERAL RECREATION AREAS AND LAWNS		SHADY WET SITES (SOMEWHAT POOR TO POORLY DRAINED SOILS)	
SPECIES	APPLICATION RATE	SPECIES	APPLICATION RATE
SUNNY SITES (WELL, MODERATELY WELL AND SOMEWHAT POORLY DRAINED SOILS)		80% ROUGH BLUEGRASS	60-91 LBS/ACRE
65% KENTUCKY BLUEGRASS BLEND	85-114 LBS/ACRE	20% PERENNIAL RYEGRASS	25-39 LBS/ACRE
30% PERENNIAL RYEGRASS	26-35 LBS/ACRE		
15% FINE FESCUE	19-26 LBS/ACRE		
SUNNY DROUGHTY SITES (SOMEWHAT TO EXCESSIVELY DRAINED SOILS)			
65% FINE FESCUE	114-143 LBS/ACRE		
15% PERENNIAL RYEGRASS	26-33 LBS/ACRE		
20% KENTUCKY BLUEGRASS BLEND	35-44 LBS/ACRE		

TEMPORARY SEEDING SPECIFICATIONS

- AREAS REMAINING DISTURBED FOR 14 DAYS OR MORE SHALL BE STABILIZED AS FOLLOWS:
SCARIFY SOILS IF COMPACTED, LIME TO pH OF 6.0 IF REQUIRED, FERTILIZE WITH 600 LBS/ACRE 5-10-10 FERTILIZER IF REQ. SEED WITH SPECIES AND RATE SHOWN BELOW.
MULCH WITH HAY OR STRAW AT A RATE OF 2 TONS/ACRE. ANCHOR MULCH WITH NETTING OF WOOD FIBER OR JUTE IF STEEP SLOPE OR HIGH POTENTIAL FOR EROSION.
- | SPECIES | APPLICATION RATE |
|--|----------------------------------|
| RYEGRASS (ANNUAL OR PERENNIAL) (USE WINTER RYE IF SEEDING IN OCT-NOV.) | 60-91 LBS/ACRE (0.7 LBS/1000 SF) |

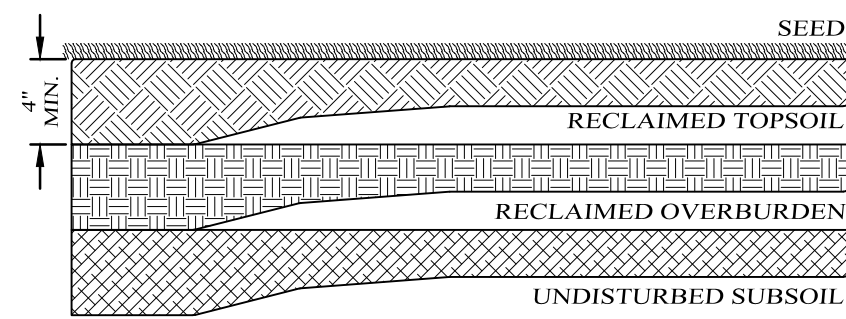
SLOPE STABILIZATION, SEEDING METHOD & MULCHING

- SLOPES OF 4:1 OR GREATER (HORIZONTAL-VERTICAL)
SLOPES SHALL BE HYDROSEEDING WITH THE MIXTURES AND RATES INDICATED IN THE PERMANENT SEEDING MIXTURE SCHEDULE. STRAW OR HAY MULCH SHALL BE APPLIED AT A RATE OF 2 TONS/ACRE.
STRAW OR HAY MULCH SHALL BE ANCHORED WITH GEO-TEXTILE EROSION CONTROL NETTING AS MANUFACTURED BY MIRAFOR APPROVED EQUIVALENT.
NETTING TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS.
- GENTLE SLOPES AND FLAT AREAS
AREAS SHALL BE SEEDING BY HYDROSEEDING OR BROADCASTING WITH THE MIXTURES AND RATES INDICATED IN THE PERMANENT SEEDING MIXTURE SCHEDULE. HYDROSEEDED AREAS SHALL BE MULCHED WITH A WOOD FIBER MULCH APPLIED AT A RATE OF 500 LBS/ACRE. BROADCAST AREAS SHALL MULCH WITH HAY OR STRAW AT A RATE OF 2 TONS/ACRE. AREAS SEEDING BY BROADCASTING SHALL BE LIGHTLY RAKED AND PACKED PRIOR TO PLACING MULCH.



STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

- CONSTRUCTION SPECIFICATIONS:**
1. ENTRANCE SHALL BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC R.O.W. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC R.O.W. MUST BE REMOVED IMMEDIATELY.
 2. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHERE A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. THE BLANKET SHALL BE COMPOSED OF 6" DEPTH OF 1"-4" CRUSHED STONE. SHALL BE AT LEAST 24" X 50' FOR THE ROAD ENTRANCE AND 12" X 30' FOR DRIVEWAYS, AND SHALL BE PLACED ON COMPACTED SUB-GRADE.
 3. A FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 4. ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 5. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



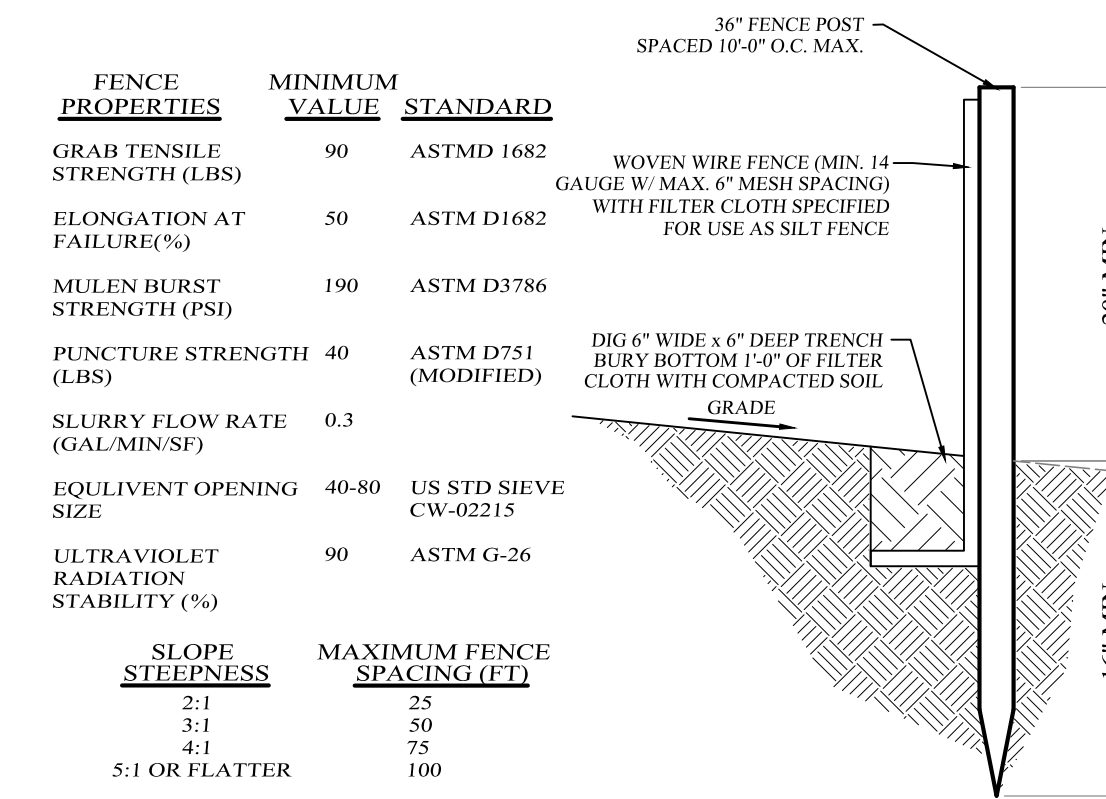
RECLAMATION DETAIL
NOT TO SCALE

- SCARIFY SOIL TO DEPTH OF 4" TO 6" IF COMPACTED.
- REMOVE LARGE STONES, STUMPS, ROOTS & DEBRIS.
- LIME AS REQUIRED TO ACHIEVE A pH OF 6.0.
- FERTILIZE AT 6000 LBS/ACRE OF 5-10-10 FERTILIZER, IF NEEDED.
- ROUGHEN TOP 4" OF SOIL, SEED AND MULCH.

CONSTRUCTION SPECIFICATIONS:

1. TOPSOIL STOCKPILE TO BE SEED AS PER THE TEMPORARY SEEDING SPECIFICATIONS.
2. SILT FENCE TO BE INSTALLED DOWN GRADIENT OF STOCKPILE.

TOPSOIL STOCKPILE DETAIL
NOT TO SCALE

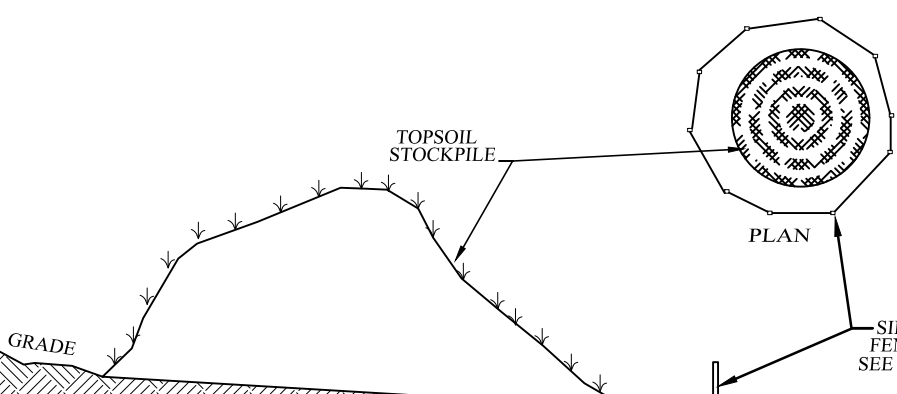
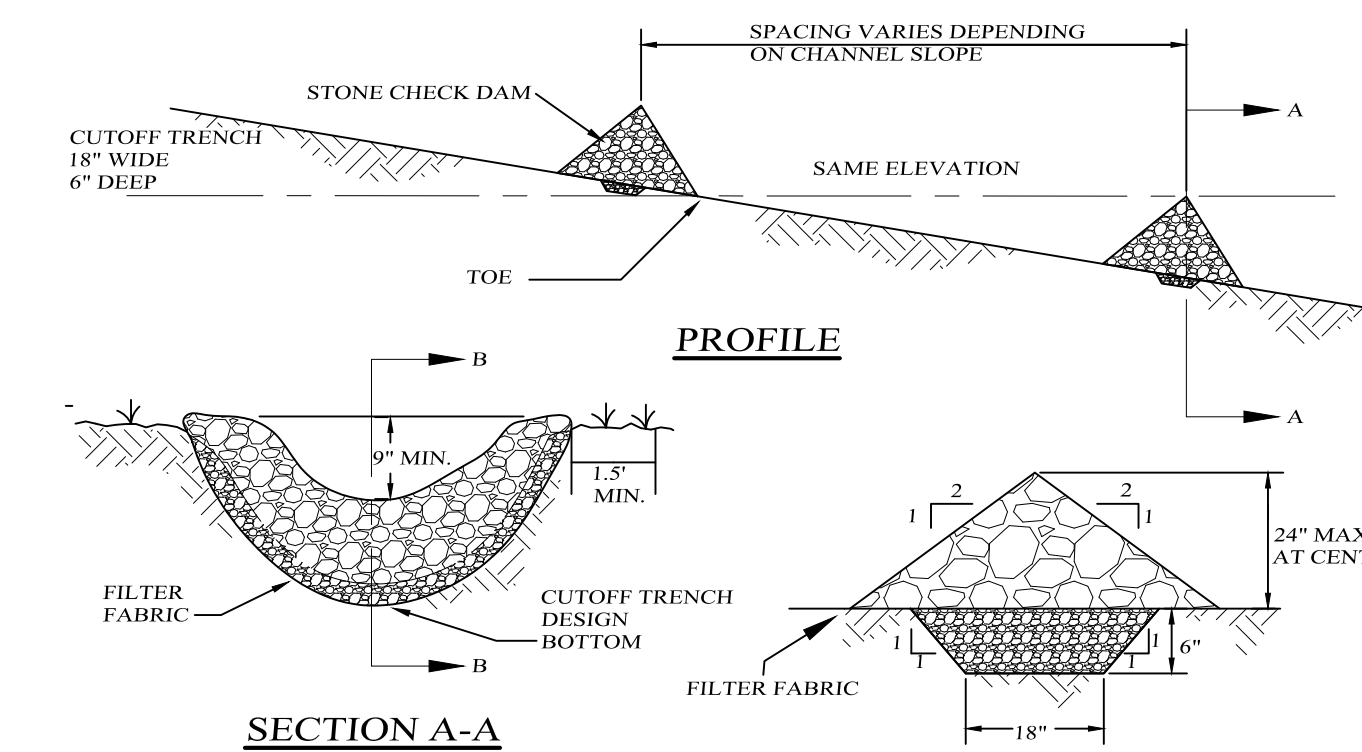


- CONSTRUCTION SPECIFICATIONS:**
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "1" OR "1 1/2" TYPE OR HARDWOOD.
 2. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD WITH A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
 3. STEEL POSTS WILL BE STANDARD "1" AND "1 1/2" SECTION WEIGHING NOT LESS THAN 140 POUNDS PER LINEAR FOOT.
 4. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
 5. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFIT 100X, STABILINKA T400, OR APPROVED EQUAL.
 6. PREFABRICATED UNITS SHALL BE GEOTAF, ENVIROFENCE, OR APPROVED EQUAL.
 7. ALL SILT FENCES SHALL RUN PARALLEL TO THE CONTOUR OF THE LAND.
 8. ALL SILT FENCING SHALL MEET THE MINIMUM REQUIREMENTS AS STATED UNLESS OTHERWISE NOTED AND APPROVED BY THE BUILDING INSPECTOR AND ENGINEER.
 9. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL SHALL BE REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

CONSTRUCTION SPECIFICATIONS:

1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
2. SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATION OF THE CREST OF THE DOWN STREAM DAM IS AT THE SAME ELEVATION AS THE TOP OF THE UPSTREAM DAM.
3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.
6. MAXIMUM DRAINAGE AREA IS 2 ACRES ABOVE THE CHECK DAM.

CHECK DAM DETAILS
NOT TO SCALE



CONSTRUCTION SPECIFICATIONS:

1. TOPSOIL STOCKPILE TO BE SEED AS PER THE TEMPORARY SEEDING SPECIFICATIONS.
2. SILT FENCE TO BE INSTALLED DOWN GRADIENT OF STOCKPILE.

TOPSOIL STOCKPILE DETAIL
NOT TO SCALE

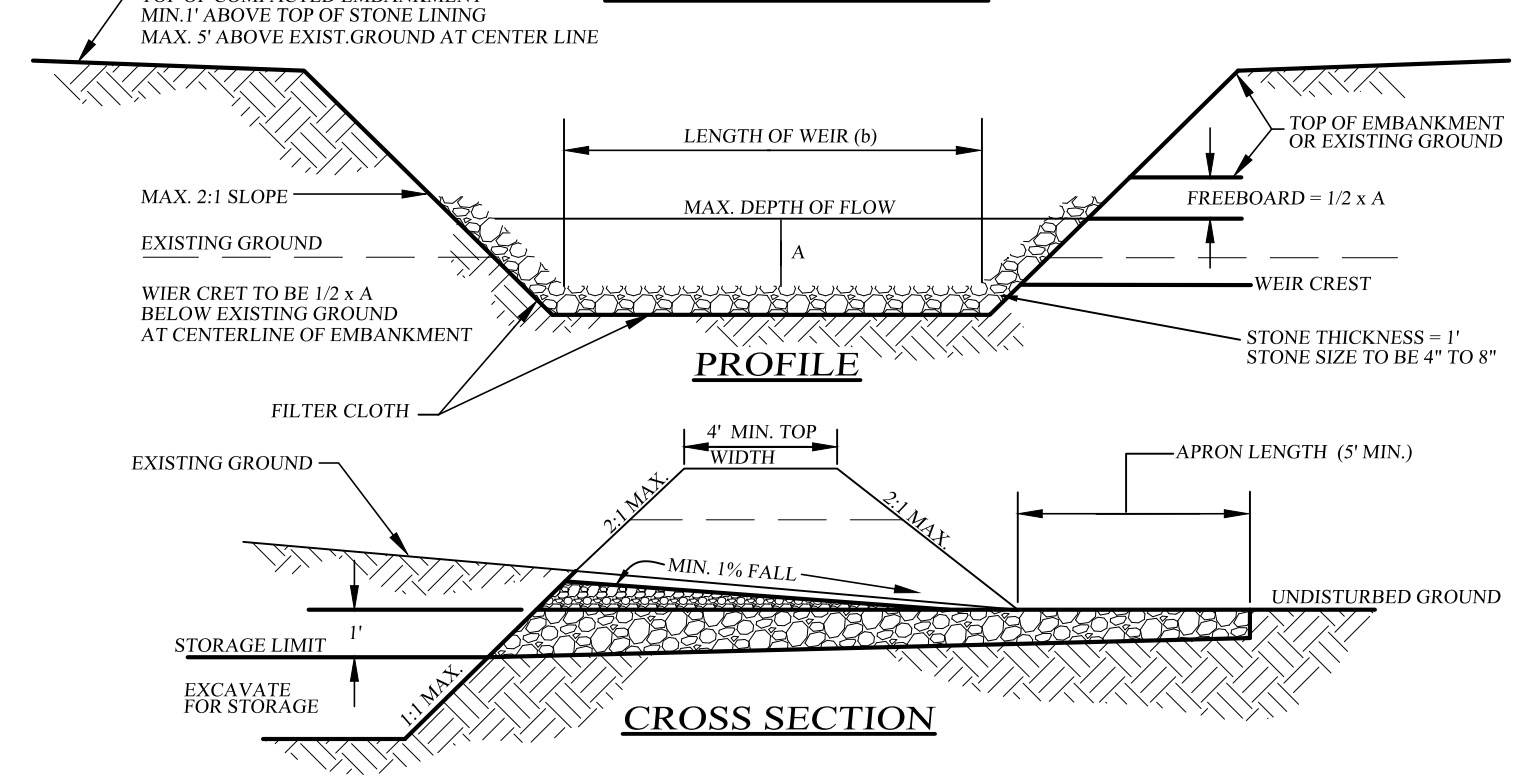
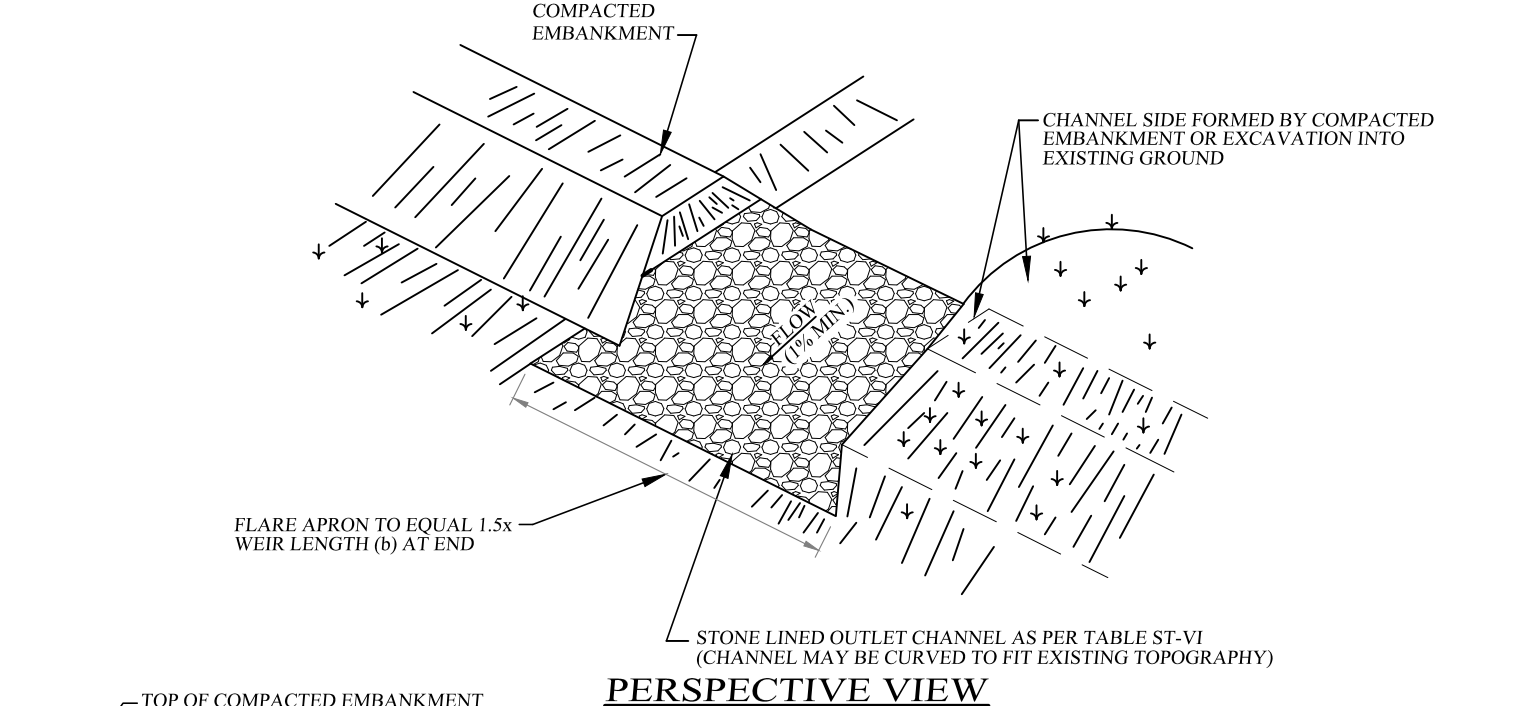
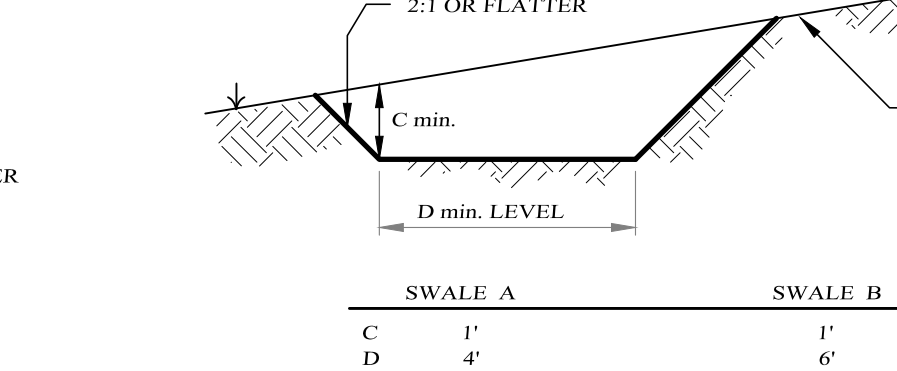
CONSTRUCTION SPECIFICATIONS:

1. ALL TEMPORARY SWALES SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
2. DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.
3. DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSIVE VELOCITY.
4. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE SWALE.
5. THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH IMPAIR NORMAL FLOW.
6. ALL FILLS ARE TO BE MECHANICALLY COMPACTED.
7. ALL EARTH REMOVED AND NOT NEEDED SHALL BE PLACED AS NOT TO INTERFERE WITH THE FUNCTIONING OF THE SWALE.
8. REFER TO PART FOR STABILIZATION OF FLOW CHANNEL.
9. PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

FLOW CHANNEL STABILIZATION

TYPE OF TREATMENT	CHANNEL GRADE	A (5 AC OR LESS)	B (5 AC-10 AC)
1.	0.5-1.0	SEED AND STRAW MULCH	SEED AND STRAW MULCH
2.	3.1-5.0	SEED AND STRAW MULCH	SEED USING JUTE OR EXCELSOR
3.	5.1-8.0	SEED WITH JUTE OR EXCELSOR/ROD	LINED RIP-RAP 4\"/>

TEMPORARY DIVERSION SWALE DETAIL
NOT TO SCALE



SEDIMENT TRAP CRITERIA

TRAP TYPE	TRAP #1 RIP RAP/OUTLET SEDIMENT TRAP	TRAP #2 RIP RAP/OUTLET SEDIMENT TRAP	TRAP #3 RIP RAP/OUTLET SEDIMENT TRAP
DRAINAGE AREA	2.1 AC.	1.6 AC.	1 AC.
STORAGE REQUIRED	7,500 C.F.	5,700 C.F.	3,600 C.F.
STORAGE PROVIDED	8,400 C.F.	6,400 C.F.	20,000 C.F.
DIMENSIONS AT "AVE." WATER HT.	70' x 30'	40' x 40'	100' x 50'
DEPTH BELOW BASE OF WEIR (AVG.)	4'	4'	4'
CHANNEL DEPTH	1.5'	1.5'	1.5'
WEIR LENGTH	6'	6'	6'

RIPRAP OUTLET SEDIMENT TRAP CONSTRUCTION SPECIFICATIONS:

1. THE AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS OR OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED. MAXIMUM HEIGHT OF EMBANKMENT SHALL BE FIVE (5) FEET, MEASURED AT CENTERLINE OF EMBANKMENT.
3. ALL FILL SLOPES SHALL BE 2:1 OR FLATTER, CUT SLOPES 1:1 OR FLATTER.
4. ELEVATION OF THE TOP OF ANY DIKE DIRECTING WATER INTO TRAP MUST EQUAL OR EXCEED HEIGHT OF EMBANKMENT.
5. STORAGE AREA PROVIDED SHALL BE FIGURED BY COMPUTING THE VOLUME AVAILABLE BEHIND THE OUTLET CHANNEL UP TO AN ELEVATION OF ONE (1) FOOT BELOW THE WEIR CREST.
6. FILTER CLOTH SHALL BE PLACED OVER THE BOTTOM AND SIDES OF THE OUTLET CHANNEL PRIOR TO PLACEMENT OF STONE. SECTIONS OF FABRIC MUST OVERLAP AT LEAST ONE (1) FOOT WITH SECTION NEAREST THE ENTRANCE PLACED ON TOP. FABRIC SHALL BE EMBEDDED AT LEAST SIX (6) INCHES INTO EXISTING GROUND AT ENTRANCE OF OUTLET CHANNEL.
7. STONE USED IN THE OUTLET CHANNEL SHALL BE FOUR (4) TO EIGHT (8) INCHES (RIP RAP) TO PROVIDE A FILTERING EFFECT. A LAYER OF FILTER CLOTH SHALL BE EMBEDDED ONE (1) FOOT WITH SECTION NEAREST ENTRANCE PLACED ON TOP. FABRIC SHALL BE EMBEDDED AT LEAST SIX (6) INCHES INTO EXISTING GROUND AT ENTRANCE OF OUTLET CHANNEL.
8. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
9. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND SHALL BE REPAIRED AS NEEDED.
10. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION ARE MINIMIZED.
11. THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
12. DRAINAGE AREA FOR THIS PRACTICE IS LIMITED TO 15 ACRES.

Lands of
208 BUSINESS CENTER
VILLAGE OF MONROE, ORANGE COUNTY, NEW YORK

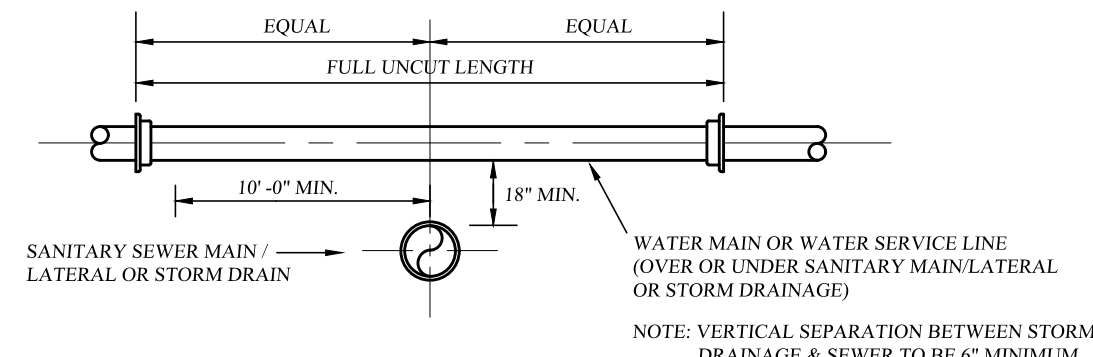
EROSION CONTROL DETAILS

PROJECT TITLE
DRAWING TITLE
KIRK ROTHER, P.E.
CONSULTING ENGINEER, PLLC
5 St. Stephens Lane, Warwick, NY 10990
(845) 984-0420

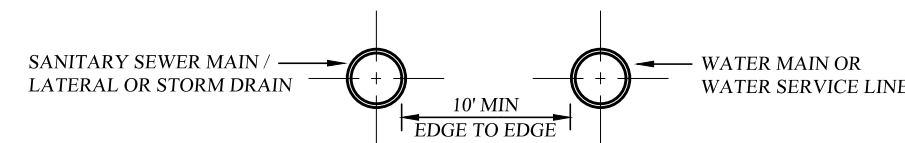
09-2021 INITIAL PREPARATION
KIRK ROTHER, P.E. NYS REG. NO. 079655 DATE

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D.O.T. SHEET #	D.E.C. SHEET #	O.C.H.D. SHEET #	SHEET #
N.A.	N.A.	N.A.	7 OF 15
18118 SP	18118	AS SHOWN	



VERTICAL SEPARATION DETAIL
NOT TO SCALE

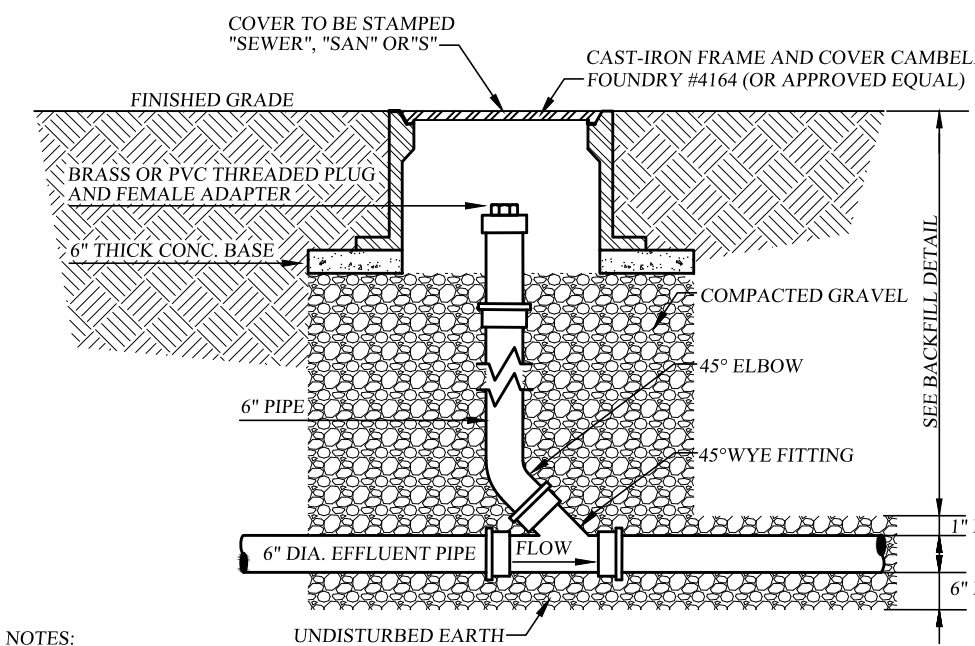


HORIZONTAL SEPARATION DETAIL
NOT TO SCALE

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WATER/SEWER SEPARATION REQUIREMENTS

NOT TO SCALE

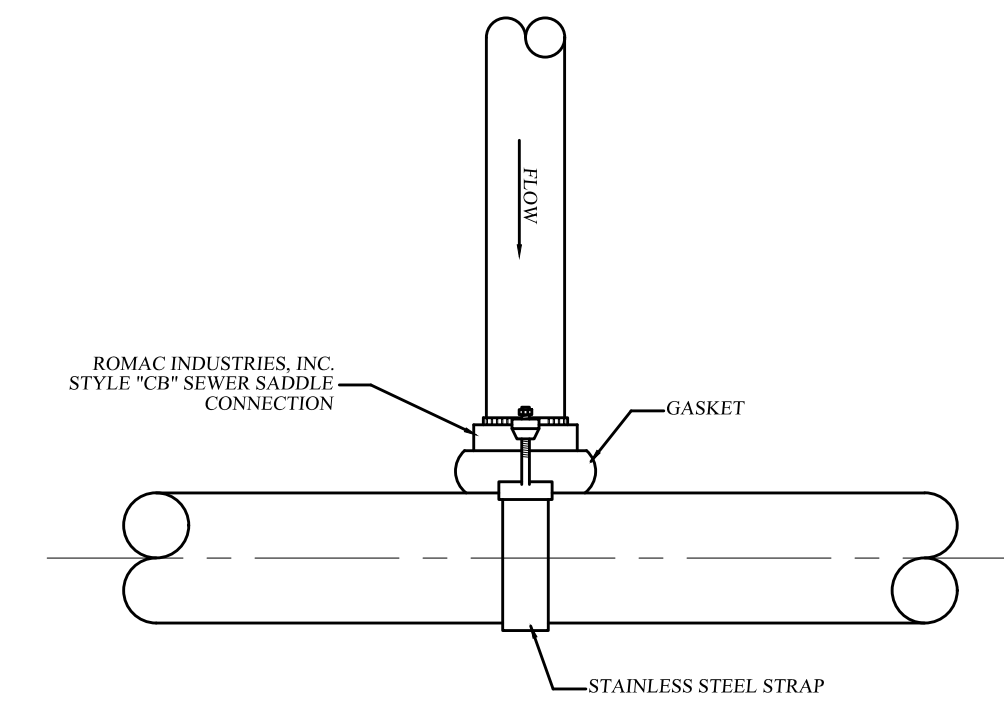


NOTES:

- EACH BUILDING SEWER SHALL HAVE A CLEANOUT INSTALLED APPROXIMATELY 2' DOWNSTREAM OF THE BUILDING PIPE TO BUILDING SEWER CONNECTION. THEREAFTER, CLEANOUTS SHALL BE INSTALLED ALONG THE BUILDING SEWER APPROXIMATELY EVERY 100' (MAXIMUM) FOR THE PURPOSE OF CLEANOUT LOCATIONS. DISTANCE SHALL BE MEASURED FROM THE FIRST CLEANOUT LOCATED DOWNSTREAM OF THE HOUSE PIPE TO BUILDING SEWER CONNECTION, HENCE DOWNSTREAM ALONG THE BUILDING SEWER TO THE CENTER OF THE SEWER MAIN LINE (GENERALLY LOCATED IN THE CENTER OF THE STREET).
- A CLEANOUT LOCATED IN A ROAD, DRIVEWAY OR PARKING AREA SHALL REQUIRE A CAMBELL FOUNDARY #864 CAST IRON FRAME AND COVER (OR APPROVED EQUAL).

BUILDING SEWER CLEAN-OUT DETAIL

NOT TO SCALE

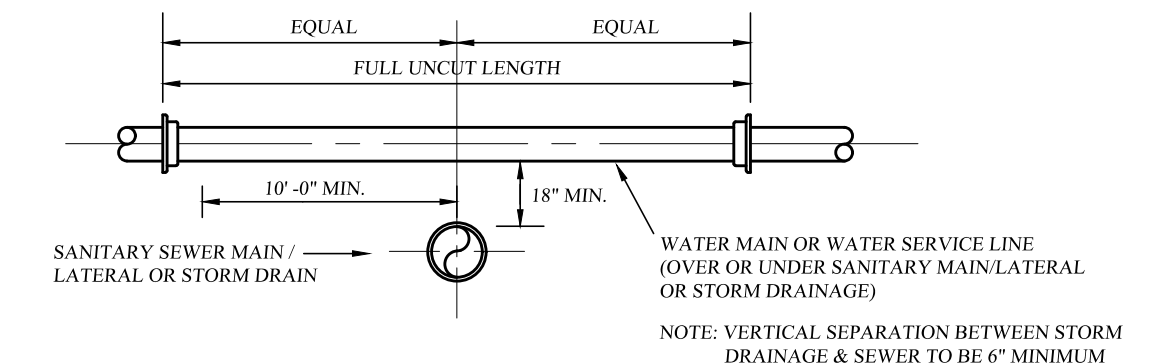


NOTES:

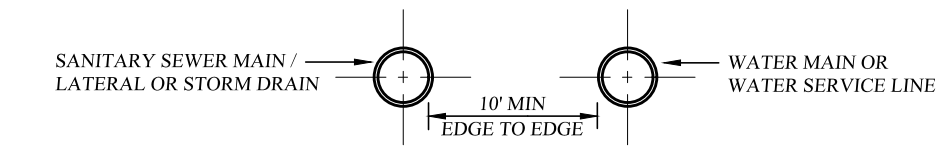
- ALL APPROVED BUILDING SEWER PIPE MATERIAL FOR EACH CONNECTION MADE SHALL BE CONSTRUCTED FROM THE SAME MATERIAL.
- SADDLE CONNECTION TO BE STYLE "CB" SEWER SADDLE AS MANUFACTURED BY ROMAC INDUSTRIES, INC. OR APPROVED EQUAL.
- REFER TO DETAIL SPECIFICATIONS FOR STYLE "CB" SEWER SADDLE AS PROVIDED BY ROMAC INDUSTRIES, INC. FOR INSTALLATION GUIDELINES.
- INSTALLATION AND MATERIALS OF THE SADDLE CONNECTION TO CONFORM WITH O.C.S.D. NO. 1 CRITERIA. THERE WILL BE NO DEVIATION FROM THE APPROVED PLAN WITHOUT WRITTEN APPROVAL FROM THE O.C.S.D. NO. 1.

SADDLE CONNECTION DETAIL

NOT TO SCALE



VERTICAL SEPARATION DETAIL
NOT TO SCALE

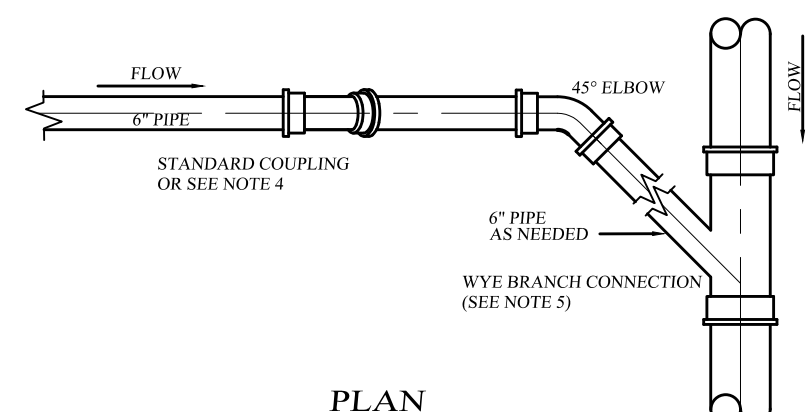


HORIZONTAL SEPARATION DETAIL
NOT TO SCALE

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WATER/SEWER SEPARATION REQUIREMENTS

NOT TO SCALE



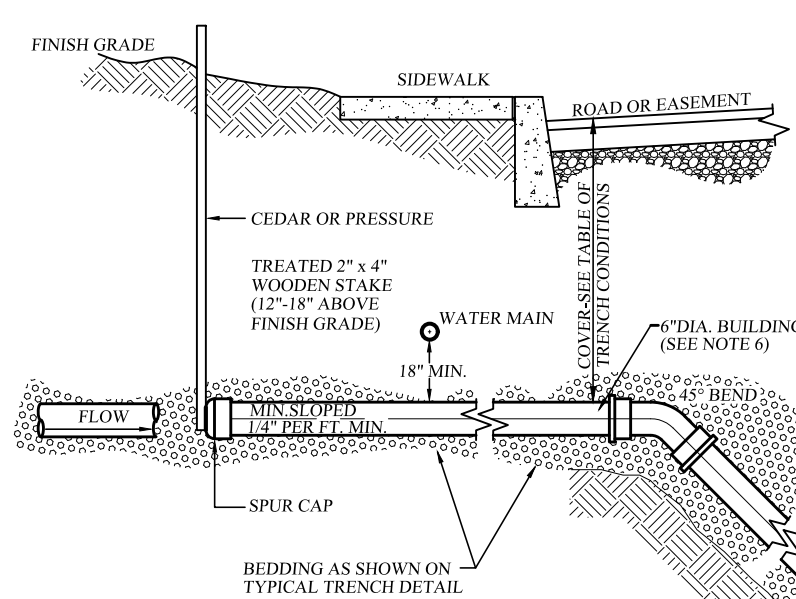
PLAN

SANITARY SEWER SPECIFICATIONS (FOR BUILDING SEWERS AND SEWER MAIN LINE)

- REQUIRED MAIN LINE SEWER (OR APPROVED EQUAL):
 - ABS-TRUSS PIPE
 - PIPE: STAMPED ASTM D2680
 - FITTINGS: STAMPED ASTM D2680
 - JOINTS: SOLVENT WELD, ASTM D2564
- PVC-TRUSS PIPE:
 - PIPE: STAMPED ASTM D2680
 - FITTINGS: STAMPED ASTM D2680
 - JOINTS: SOLVENT WELD, ASTM D2564 OR ELASTOMERIC (GASKET)
- PVC - SDR 26 HEAVY WALL PIPE:
 - PIPE: 18" (15" DIAMETER), STAMPED ASTM 3034
 - PIPE (18" AND GREATER DIAMETER), STAMPED ASTM F679
 - FITTINGS: STAMPED ASTM 3034 OR F679
 - JOINTS: SOLVENT WELD ASTM 2564 OR ELASTOMERIC (GASKET)
- PVC - SDR 26 (P.S. IRON PIPE SIZE):
 - PIPE (8" - 12" DIAMETER), STAMPED ASTM 2241
 - FITTINGS: I.P.S. SCHEDULE 40 (MINIMUM) MEETING ASTM D2467 AND D1784
 - JOINTS: ASTM D3139, SOLVENT WELD ASTM 2564 AND D2855, ELASTOMERIC (GASKET) ASTM F477
- REQUIRED 6" BUILDING LATERAL SEWER (OR APPROVED EQUAL):
 - SDR 21.5 ABS SOLID WALL PIPE
 - PIPE: STAMPED ASTM D2751 AND SDR 23.5
 - FITTINGS: STAMPED SDR 23.5 ASTM D2751
 - JOINTS: SOLVENT WELD, ASTM D2235
- PVC - SDR 21 (P.S. IRON PIPE SIZE) SOLID WALL PIPE:
 - PIPE: 6" STAMPED ASTM 2241
 - FITTINGS: I.P.S. SCHEDULE 40 (MINIMUM) MEETING ASTM D2564 AND D1784
 - JOINTS: ASTM D3139, SOLVENT WELD ASTM 2564 AND D2855, ELASTOMERIC (GASKET) ASTM F477
- TRANSITION BETWEEN SDR 23.5 AND SDR 21 (P.S. IS PERMISSIBLE USING STYLE 253 LONG SLEEVE CAST COUPLING MODEL NO. 0253-0663-0663 AS MANUFACTURED BY DRESSER PIPING SPECIALTIES (OR APPROVED EQUAL)
- TRANSITION AT 6" ASTM 3034 BUILDING LATERAL SEWER HUB LOCATED ON PVC SDR 26 HEAVY WALL SEWER PIPE BRANCH WYE FITTING VIA GPK PRODUCTS, INC. ADAPTERS ARE APPROVED AS FOLLOWS:
 - FOR 6" PVC SDR 21 GASKETED SEWER PIPE USE GPK PRODUCTS, INC. PART NO. 6330-00-6" I.P.S.G x SEWER SPIGOT ADAPTER (OR APPROVED EQUAL)
 - FOR 6" PVC SDR 21 SOLVENT WELD PVC SEWER PIPE USE GPK PRODUCTS, INC. PART NO. G230-0006-6" I.P.S. HUB x SPIGOT ADAPTER (OR APPROVED EQUAL)
- OTHER REQUIRED PIPE MATERIALS FOR 6" LATERAL AND SEWER MAIN LINE (OR APPROVED EQUAL):
 - CAST IRON, EXTRA HEAVY, COATED, HUB & FLAN END, ASTM C-74 WITH ELASTOMERIC COMPRESSION GASKET (ASTM C-564)
 - DUCTILE IRON PIPE: CLASS 52, CEMENT LINED AND TAR COATED INSIDE AND OUT.

NOTES:

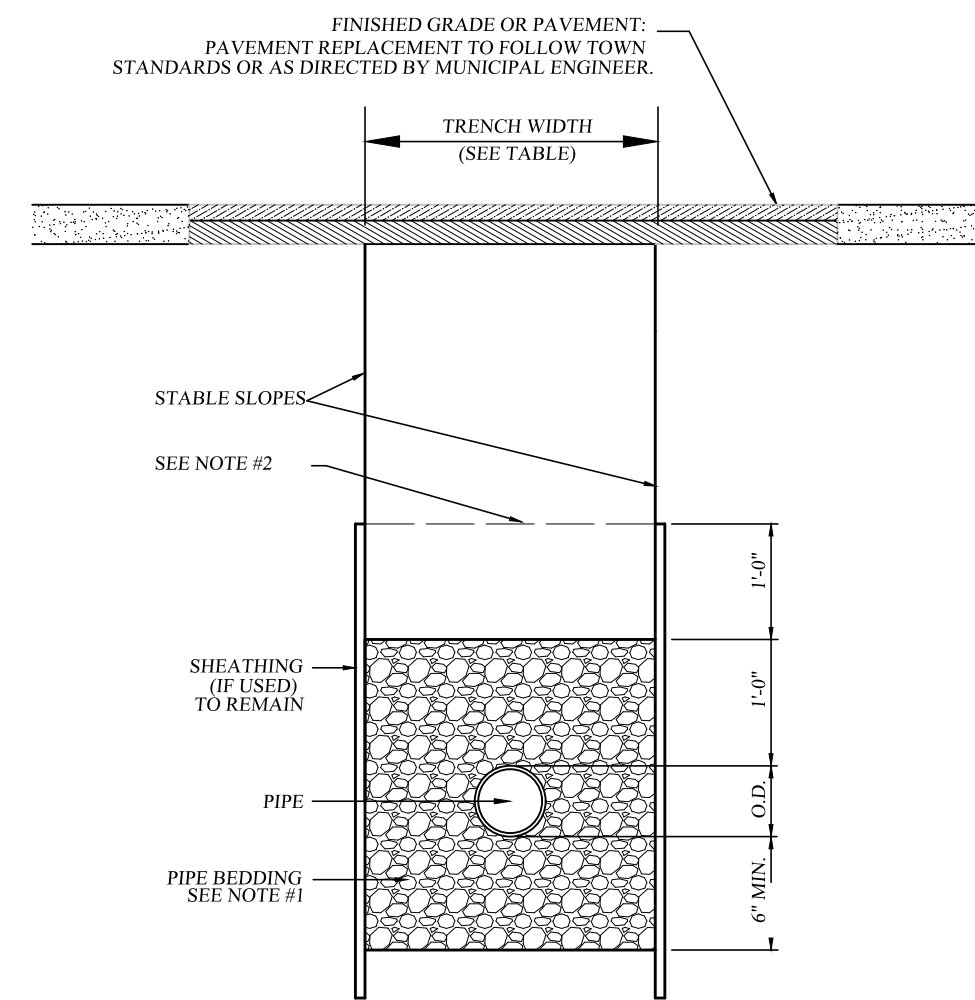
- ALL APPROVED BUILDING SEWER PIPE MATERIAL FOR EACH CONNECTION MADE SHALL BE CONSTRUCTED FROM THE SAME MATERIAL.
- MINIMUM HORIZONTAL SEPARATION BETWEEN SPUR CAP AND SIDEWALK SHALL BE 2'-0". IN ALL CASES THE SPUR CAP LOCATION SHALL EXTEND A MINIMUM HORIZONTAL DISTANCE OF 2'-0" ON TO ALL BUILDING LOT PROPERTIES.
- TRANSITION BETWEEN DIFFERENT PIPE MATERIAL (AS APPROVED) SHALL BE MADE BY INSTALLING A TYPE 1 STYLE 62 DRESSER AS MANUFACTURED BY DRESSER PIPING SPECIALTIES (OR APPROVED EQUAL)
- WYE BRANCH CONNECTION SHALL BE A FITTING CONSTRUCTED SPECIFICALLY FOR THE INSTALLED MAIN LINE SEWER MATERIAL (CLASS OR APPROVED EQUAL)
- THE BUILDING SEWER SHOWN FROM THE MAIN LINE SOURCE WYE BRANCH CONNECTION FITTING TO THE SPUR CAP SHALL MEET THE SPECIFICATIONS SHOWN FOR 6" SEWER SERVICE LATERALS.



SECTION

SEWER MAIN CONNECTION DETAIL
NOT TO SCALE

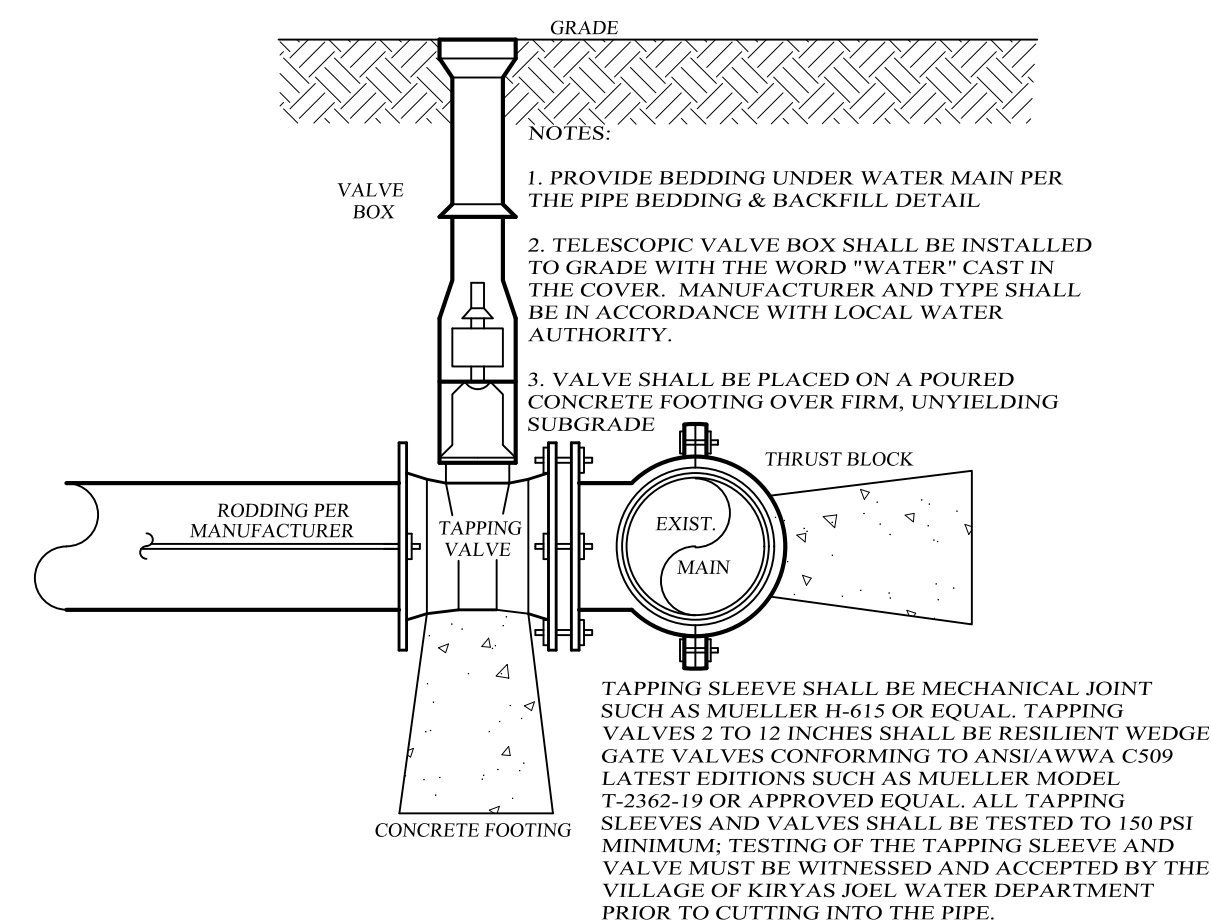
SPECIAL CONDITIONS FOR SHALLOW TRENCH	
COVER	PIPE
LESS THAN 4'-0"	CLASS 52 DUCTILE IRON OR CAST IRON EXTRA HEAVY OR APPROVED EQUAL



**ORANGE COUNTY SEWER DISTRICT #1
TYPICAL TRENCH DETAIL
(SANITARY SEWER)**
NOT TO SCALE

Notes:

- PIPE BEDDING SHALL BE A CLASS 1 ASTM D2321 EMBEDMENT MATERIAL THAT SHALL BE EITHER CRUSHED STONE OR WASHED GRAVEL PASSING A 3/4" SIEVE AND RETAINED ON A 3/8" SIEVE. THE EMBEDMENT MATERIAL SHALL BE HAND TAMPED AND COMPACTED TO 90% OF THE MAXIMUM DENSITY OF THE EMBEDMENT MATERIAL AS DETERMINED BY STANDARD PROCTOR TEST IN ACCORDANCE WITH AASHTO DESIGNATION T-99. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A GO-NO-GO TESTING GAUGE, AS DEFINED IN THE GREEN-TITE (TRADEMARK) PVC GRAVITY SEWER PIPE INSTALLATION GUIDE AS PUBLISHED BY I.M. PIPE (OR APPROVED EQUAL) FOR TESTING DEFLECTION OF MAIN LINE SEWER PIPE. AS DIRECTED BY O.C.S.D. MAXIMUM MAIN LINE SEWER DEFLECTION SHALL BE NO GREATER THAN 5%.
- BACKFILL FROM 12 IN. TO 24 IN. ABOVE THE PIPE EMBEDMENT MATERIAL SHALL BE FINE EARTH FREE FROM CINDERS AND SHALL BE MECHANICALLY COMPACTED. REMAINING BACKFILL SHALL BE FREE FROM LARGE CLODS, NATURAL DEBRIS, ROCKS, AND CINDERS.
- PLACE EMBEDMENT MATERIAL BY HAND AND HAND COMPACT UNDER AND AROUND SIDES OF PIPE. PLACE EMBEDMENT MATERIAL IN 6" LAYERS ABOVE TOP OF PIPE, AND HAND COMPACT TO A POINT 12 INCH MAXIMUM ABOVE THE TOP OF PIPE.
- THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A COMPETENT PERSON DURING ALL PHASES OF CONSTRUCTION WHOSE DUTY SHALL BE TO INSURE THAT ALL PHASES OF CONSTRUCTION ARE IN FULL COMPLIANCE WITH O.C.S.D. NO. 1 SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL STATUTES, CODES, RULES, REGULATIONS AND LAWS INCLUDING, BUT NOT LIMITED TO, UNITED STATES DEPARTMENT OF LABOR FOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION AND N.Y.S. DEPARTMENT OF LABOR FOR SECTION 1910.146 PERMIT REQUIRED CONFINED SPACE ENTRY, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION SECTION 1926.650 EXCAVATION GENERAL PROTECTION REQUIREMENTS AND OSHA SECTION 1926.651 TRENCHING AND SHORINGS, STATE OF NEW YORK UNIFORM FIRE PREVENTION AND BUILDING CODE AND NATIONAL FIRE PROTECTION ASSOCIATION CODES.
- ALL APPROVED MAIN LINE SEWER PIPE SHALL BE THE SAME MATERIAL FROM MAN-HOLE TO MAN-HOLE.
- FILL SECTION AREA MUST BE GRADED WITH THE PLACEMENT OF SUITABLE SOIL MATERIAL AS DETERMINED BY THE PROJECT SITE ENGINEER, IN 12" (MAX) LAYERS COMPACTED TO 95% OF THE MAXIMUM DENSITY BY THE STANDARD PROCTOR TEST BY THE STANDARD PROCTOR TEST (ASHTO DESIGNATION T-99) TO 2'-0" (MIN) ABOVE TOP OF PIPE AT A MINIMUM WIDTH OF O.D. + 4'-0" BEFORE TRENCH EXCAVATION.
- WHERE ROCK IS ENCOUNTERED IN TRENCH BOTTOM, UNDERCUT MUST BE SUITABLE BETWEEN 12" MIN. TO 24" MAX.
- WHERE UNSUITABLE MATERIAL IS ENCOUNTERED IN TRENCH BOTTOM, UNDERCUT TO SUITABLE MATERIAL (AS APPROVED BY TOWN ENGINEER).



WATER MAIN TAPPING VALVE DETAIL

NOT TO SCALE

GENERAL NOTES:

- WATER MAIN LOCATION MUST BE VERIFIED IN FIELD (V.I.F.) BEFORE ANY CONSTRUCTION WORK BEGINS.
- A PERMIT FOR SEWER CONNECTION SHALL BE OBTAINED FROM ORANGE COUNTY SEWER DISTRICT #1 PRIOR TO CONSTRUCTION.
- "ALL SANITARY SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT COUNTY SEWER DISTRICT NO. 1 MAIN LINE SEWER AND BUILDING SEWER GENERAL GUIDELINES, CONSTRUCTION APPLICATION, CONSTRUCTION PERMIT PROCEDURES AND STANDARD DETAILS."
- "THE MORE STRICT OF ANY REQUIREMENT, CODE, RULE, REGULATION AND LAW ESTABLISHED BY ORANGE COUNTY SEWER DISTRICT NO. 1 OR OTHER GOVERNMENTAL AGENCY, INCLUDING BUT NOT LIMITED TO THE ORANGE COUNTY DEPARTMENT OF HEALTH, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, U.S. CORPS OF ENGINEERS, U.S. ENVIRONMENTAL PROTECTION AGENCY, UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION AND NEW YORK STATE DEPARTMENT OF LABOR FOR SANITARY SEWER SIZE, SLOPE, ALIGNMENT, MATERIALS OF CONSTRUCTION AND APPURTENANCES AND METHODS FOR EXCAVATING, PIPE PLACEMENT, JOINTING, TESTING AND TRENCH BACKFILLING SHALL BE COMPILED WITH DURING ALL PHASES OF CONSTRUCTION."
- "ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS THAT ARE APPROVED BY ORANGE COUNTY SEWER DISTRICT NO. 1. ANY DEVIATION FROM THE APPROVED PLANS AND/OR SPECIFICATIONS SHALL REQUIRE REVIEW AND APPROVAL BY ORANGE COUNTY SEWER DISTRICT NO. 1. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE PROJECT ENGINEER AND ORANGE COUNTY SEWER DISTRICT NO. 1 OF ANY PLANNED DEVIATION(S) FROM THE APPROVED PLAN AND/OR SPECIFICATIONS."

Lands of
208
BUSINESS CENTER
VILLAGE OF MONROE, ORANGE COUNTY, NEW YORK

PROJECT TITLE

SANITARY DETAILS

DRAWING TITLE

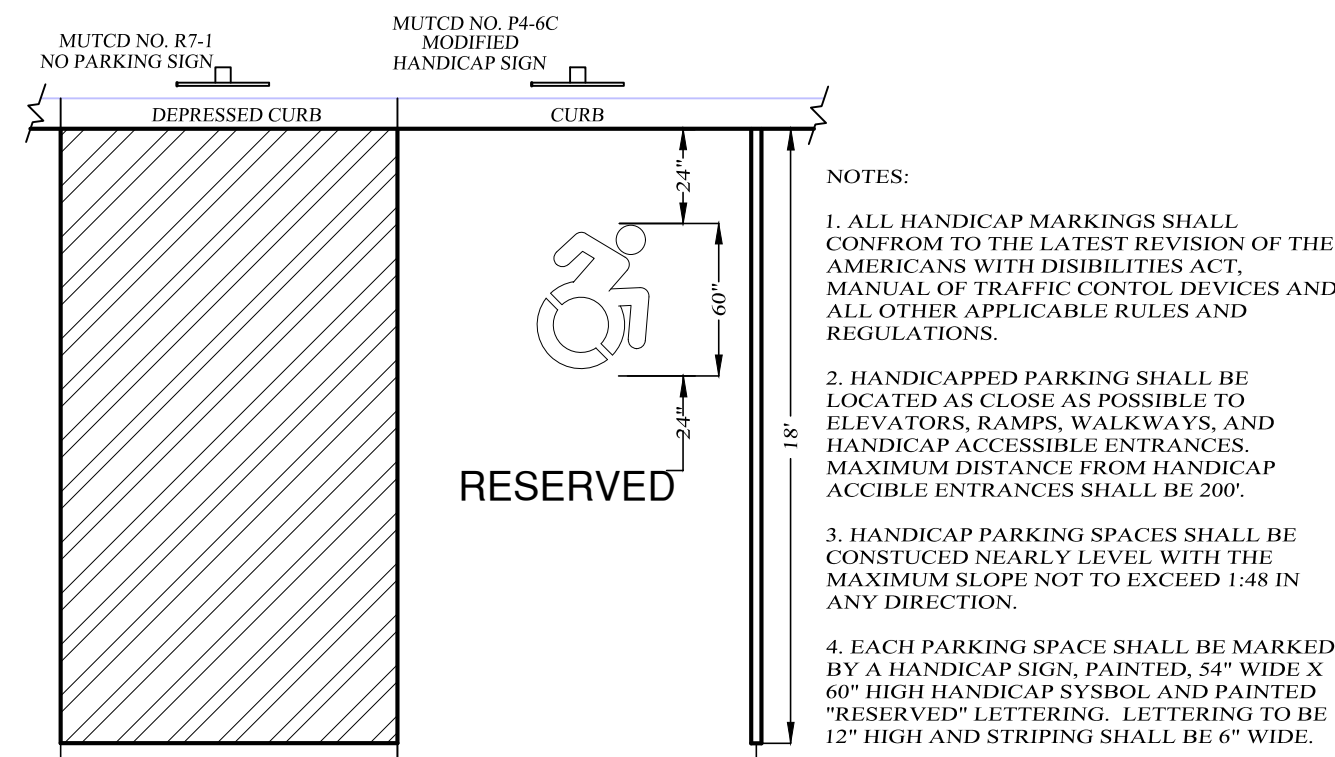
KIRK ROTHER, P.E.
CONSULTING ENGINEER, PLLC
5 St. Stephens Lane, Warwick, NY 10990
(845) 980-0820

09-12-21 INITIAL PREPARATION

KIRK ROTHER, P.E.	N.Y.S. LIC. NO. 072605	DATE
D.O.T. SHEET #	D.E.C. SHEET #	O.C.H.D. SHEET #
N.A.	N.A.	N.A.
CAD #	PROJECT #	SCALE
18118 SP	18118	AS SHOWN

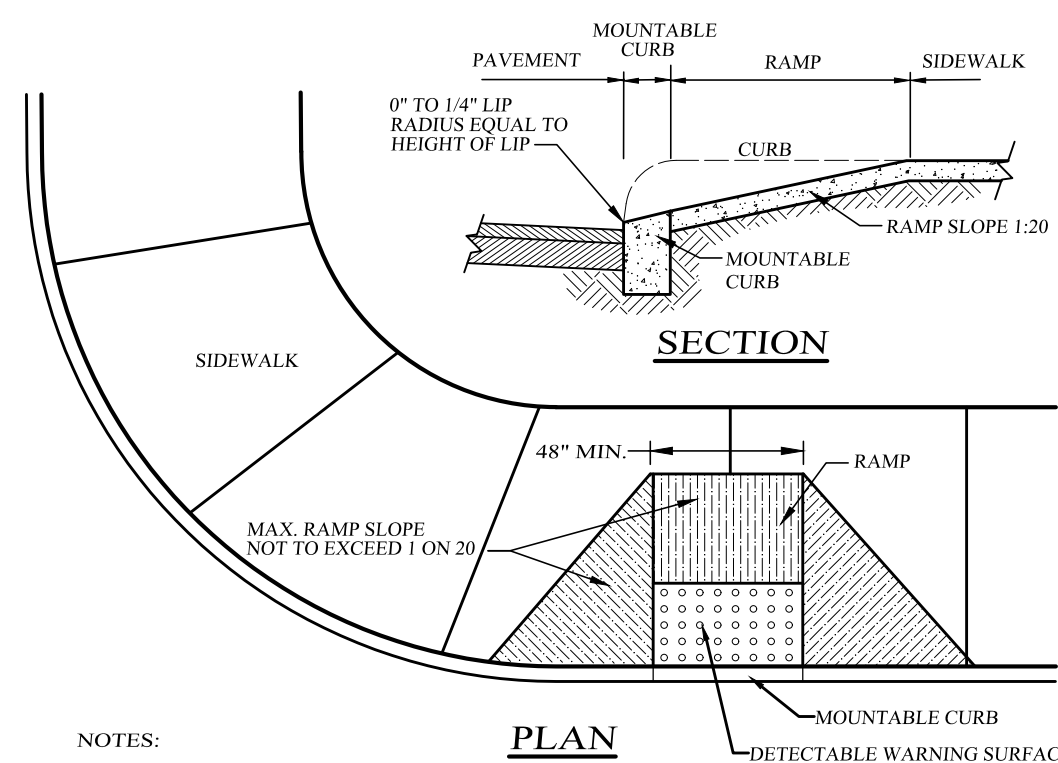
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. REPRODUCTIONS OF THIS PLAN WHICH DO NOT BEAR THE ORIGINAL SEAL OF A LICENSED PROFESSIONAL ENGINEER SHALL BE CONSIDERED INVALID.

8 OF 15



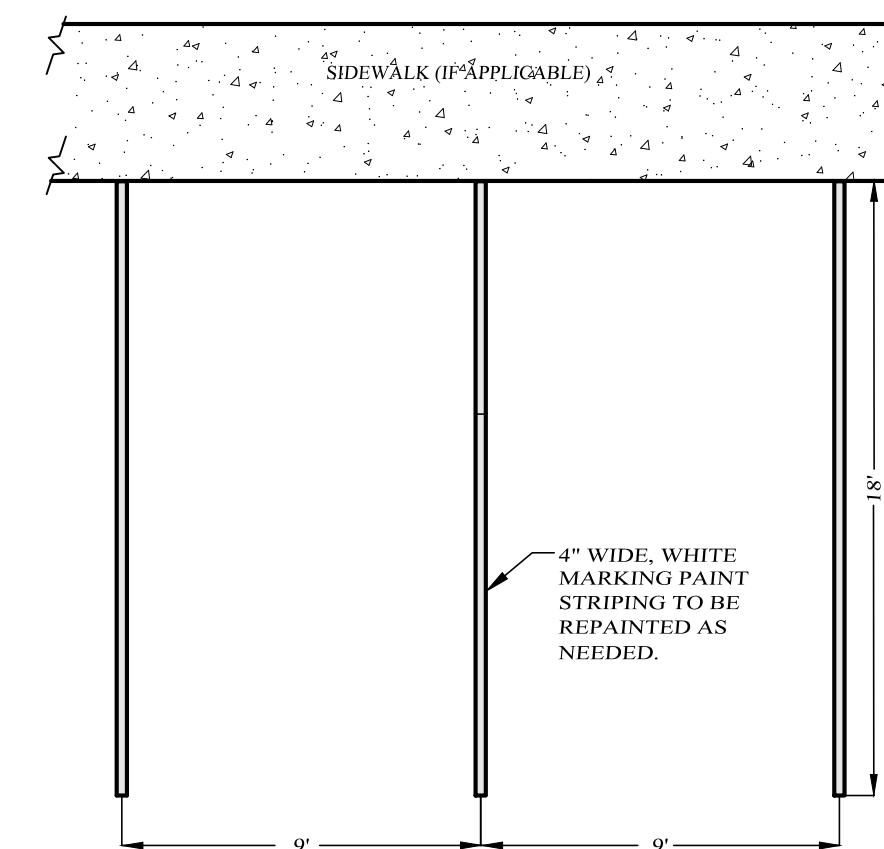
HANDICAPPED PARKING DETAIL
NOT TO SCALE

- NOTES:
1. ALL HANDICAP MARKINGS SHALL CONFORM TO THE LATEST REVISION OF THE AMERICANS WITH DISABILITIES ACT, MANUAL OF TRAFFIC CONTROL DEVICES AND ALL OTHER APPLICABLE RULES AND REGULATIONS.
 2. HANDICAPPED PARKING SHALL BE LOCATED AS CLOSE AS POSSIBLE TO ELEVATORS, RAMPS, WALKWAYS, AND HANDICAP ACCESSIBLE ENTRANCES. MAXIMUM DISTANCE FROM HANDICAP ACCESSIBLE ENTRANCES SHALL BE 200'.
 3. HANDICAP PARKING SPACES SHALL BE CONSTRUCTED NEARLY LEVEL WITH THE MAXIMUM SLOPE NOT TO EXCEED 1:48 IN ANY DIRECTION.
 4. EACH PARKING SPACE SHALL BE MARKED BY A HANDICAP SIGN, PAINTED, 54" WIDE X 60" HIGH HANDICAP SYMBOL AND PAINTED "RESERVED" LETTERING. LETTERING TO BE 12" HIGH AND STRIPING SHALL BE 6" WIDE.

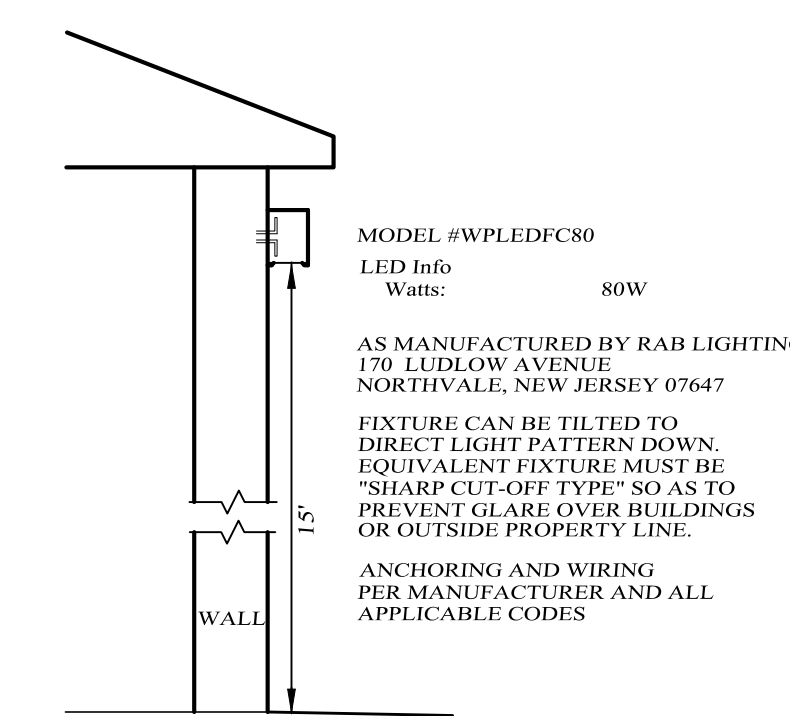


**DROP CURB
HANDICAP ACCESSIBLE RAMP DETAIL**
NOT TO SCALE

- NOTES:
1. CONSTRUCTION OF ALL HANDICAP ACCESSIBLE FEATURES SHALL CONFORM TO THE LATEST REVISION OF ALL APPLICABLE REGULATORY STANDARDS INCLUDING THE AMERICANS WITH DISABILITIES ACT.

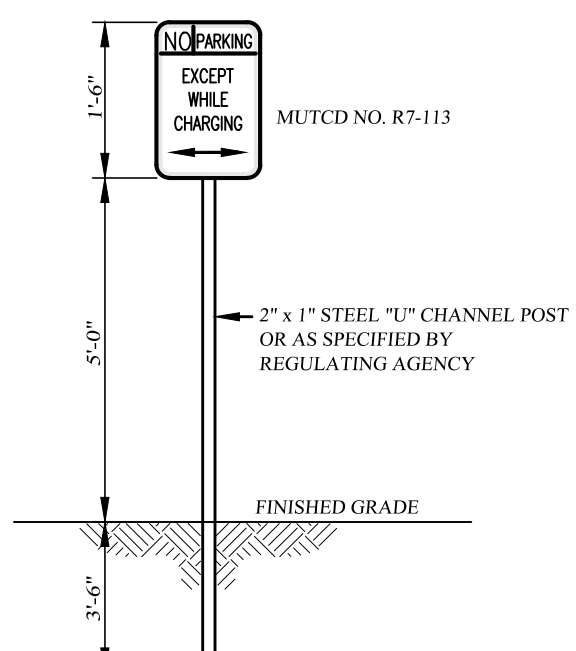


PARKING SPACE STRIPING DETAIL
NOT TO SCALE

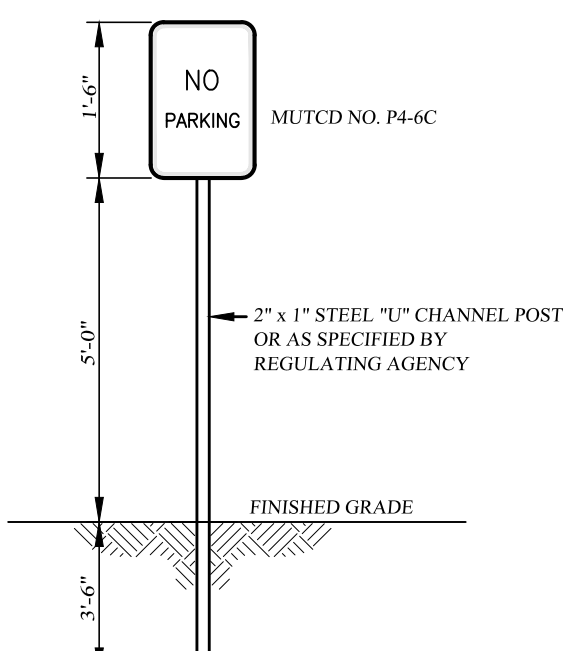


WALL MOUNTED LIGHT DETAIL
NOT TO SCALE

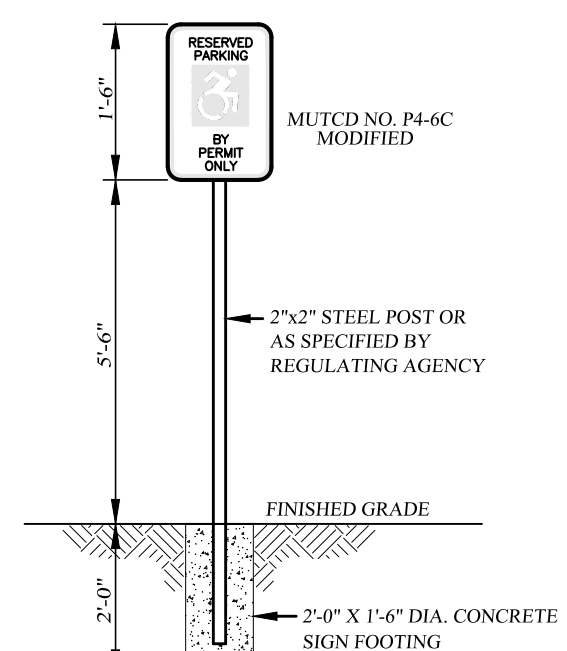
- LIGHTING NOTES:**
1. LIGHTING TO PROVIDE AN AVERAGE 10 FOOT-CANDLE LUMINESCENCE IN ALL PEDESTRIAN AREAS
 2. THERE SHALL BE NO SPILL OVER OF GLARE OUTSIDE PROPERTY LINE. FIXTURES SHALL BE EQUIPPED WITH "HOUSE SIDE SHIELDS" TO ESTABLISH A SHARP CUTOFF OF LIGHT BEHIND THE PROPOSED FIXTURE.



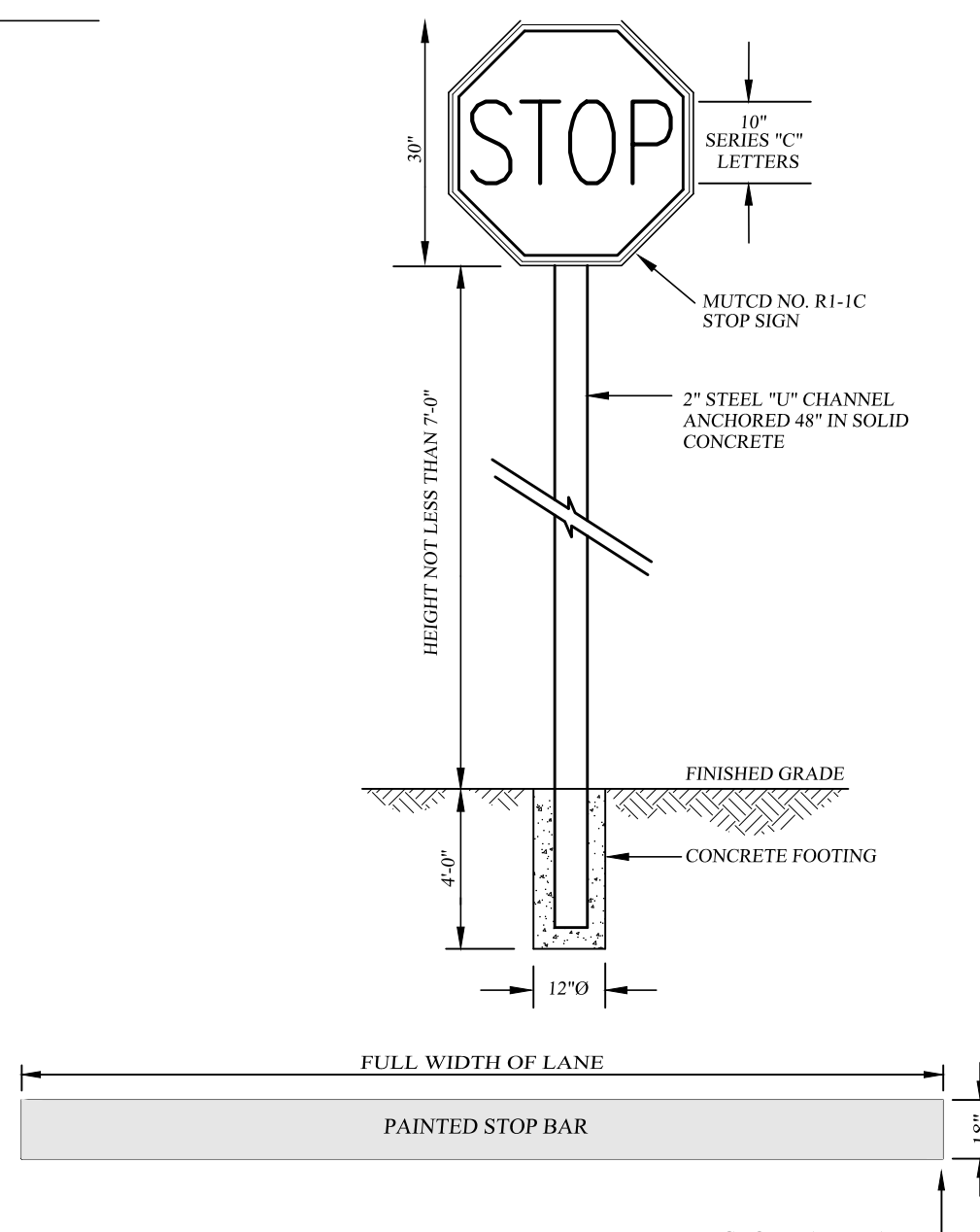
**"NO PARKING"
"EXCEPT WHILE CHARGING"
SIGN DETAIL**
NOT TO SCALE



**"NO PARKING" SIGN
DETAIL**
NOT TO SCALE

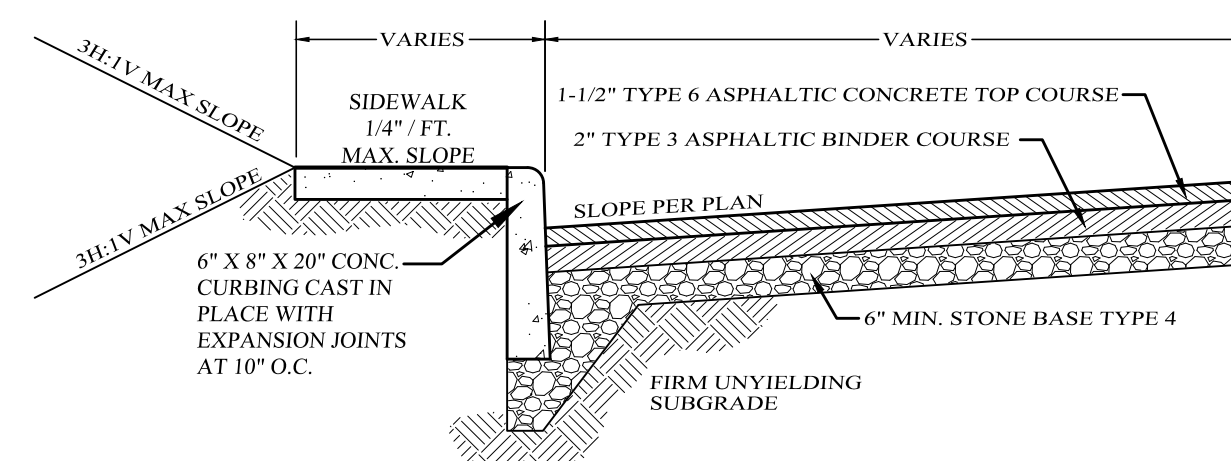


**HANDICAPPED PARKING
SIGN DETAIL**
NOT TO SCALE

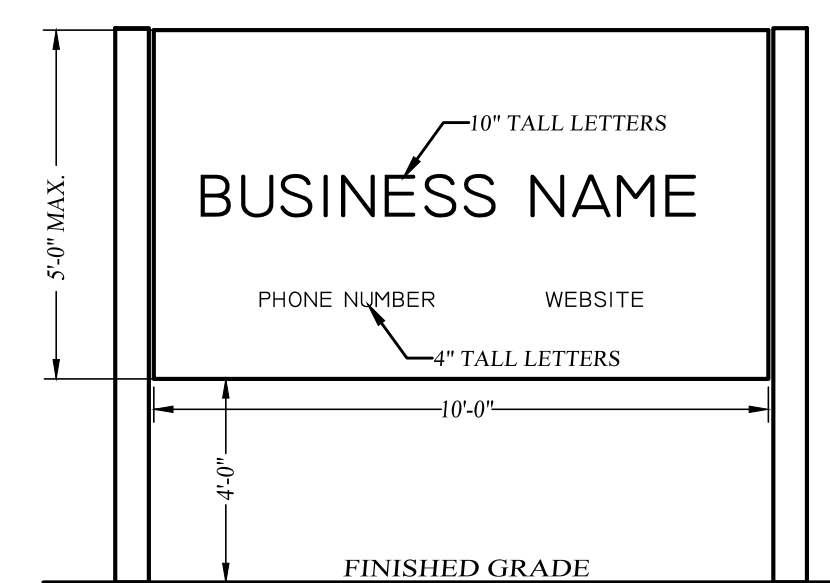


- NOTES:
1. INSTALLATION AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN SECTION 640 OF NYS DOT STANDARDS AND SPECIFICATIONS, LATEST REVISION.
 2. PAVEMENT SURFACE TO BE CLEANED AND PREPARED PRIOR TO PLACEMENT OF PAVEMENT MARKINGS IN ACCORDANCE WITH SECTION 635 OF NYS DOT STANDARDS AND SPECIFICATIONS.
 3. REFER TO APPROVED PLANS FOR ACTUAL LOCATION OF STOP LINE, SIZE AND LOCATION TO CONFORM TO MUTCD STANDARDS.
 4. PAVEMENT MARKINGS TO BE WHITE MARKING PAINT.

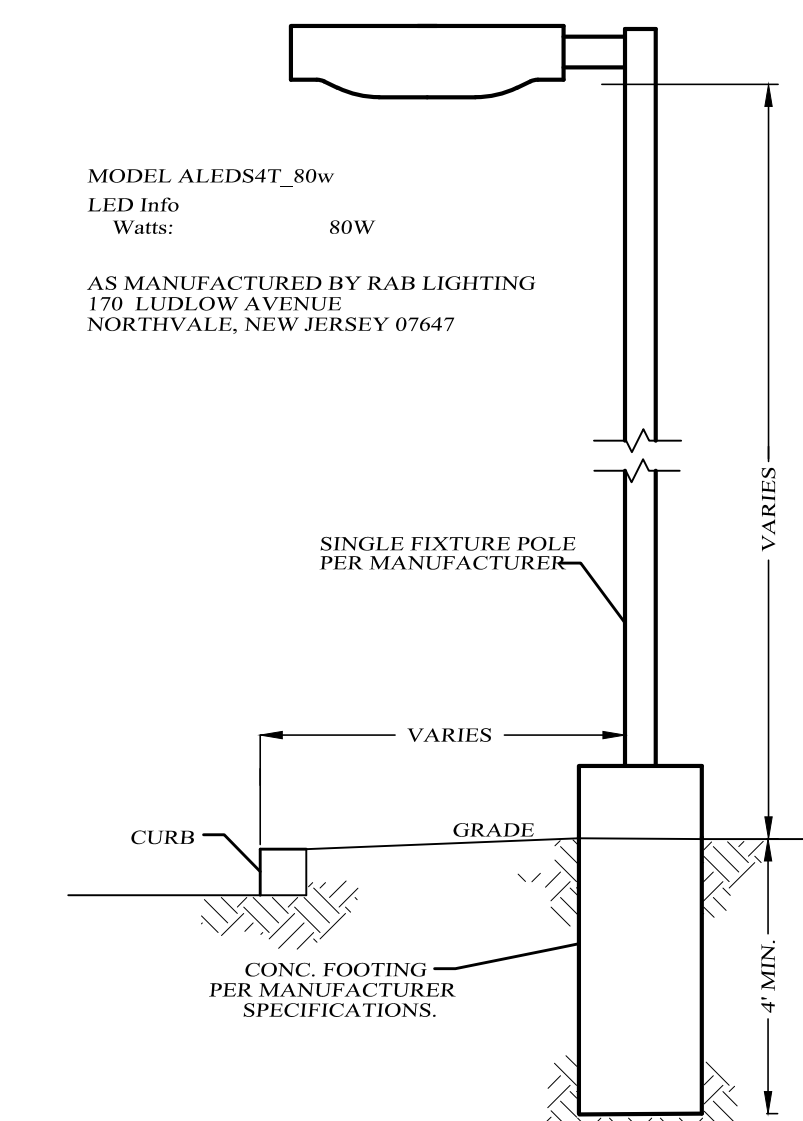
STOP BAR AND SIGN DETAIL
NOT TO SCALE



**TYPICAL PAVEMENT SECTION
PARKING LOTS & DRIVEWAYS**
NOT TO SCALE

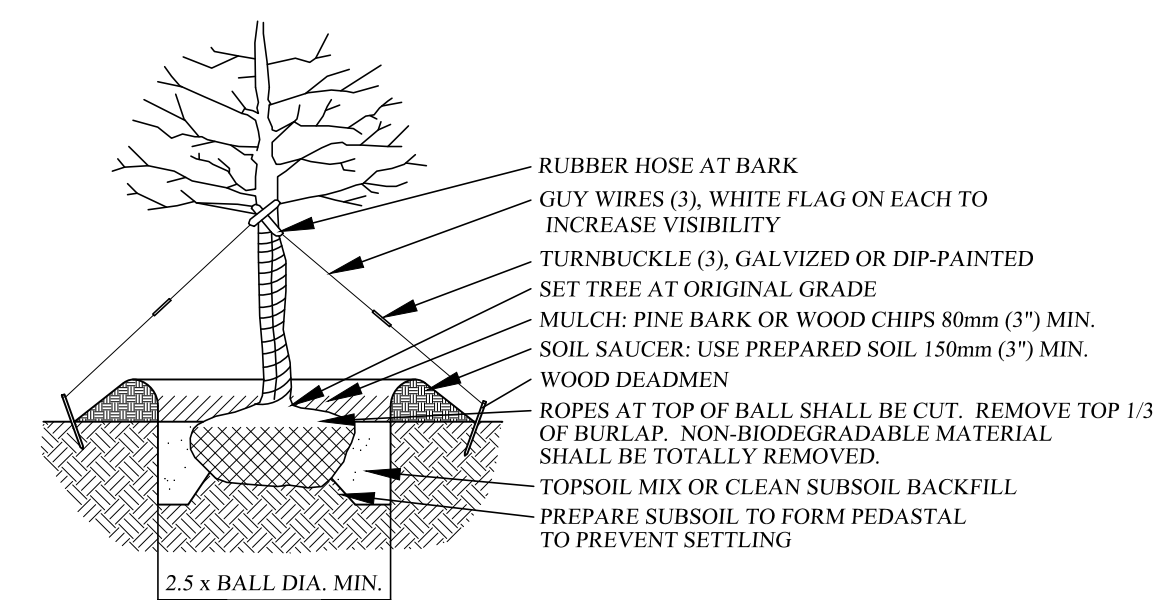


SIGN DETAIL
NOT TO SCALE

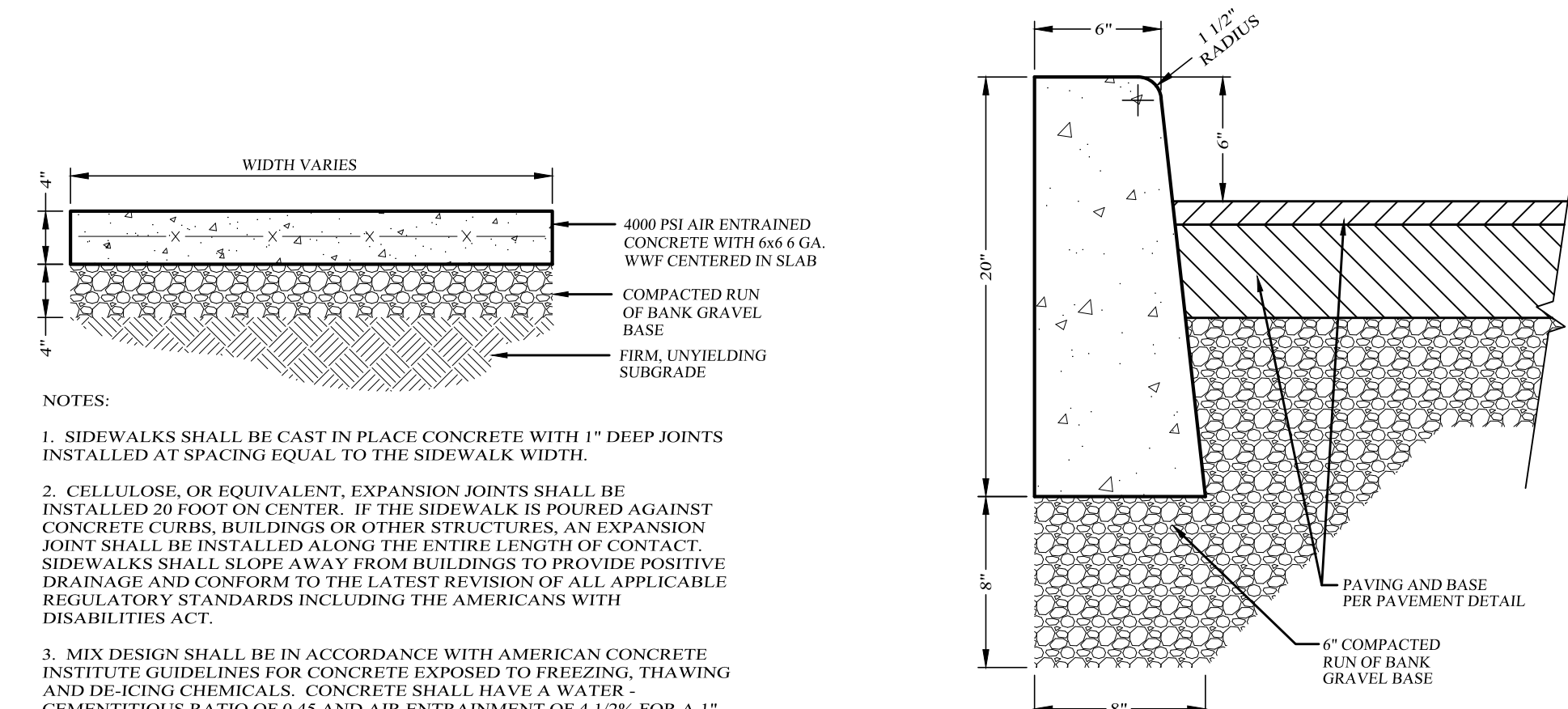


POLE MOUNTED SINGLE LIGHT DETAIL
NOT TO SCALE

- NOTES:
1. ALL ELECTRICAL COMPONENTS TO BE AS SPECIFIED BY MANUFACTURER AND INSTALLED IN CONFORMANCE WITH ALL APPLICABLE BUILDING CODES.

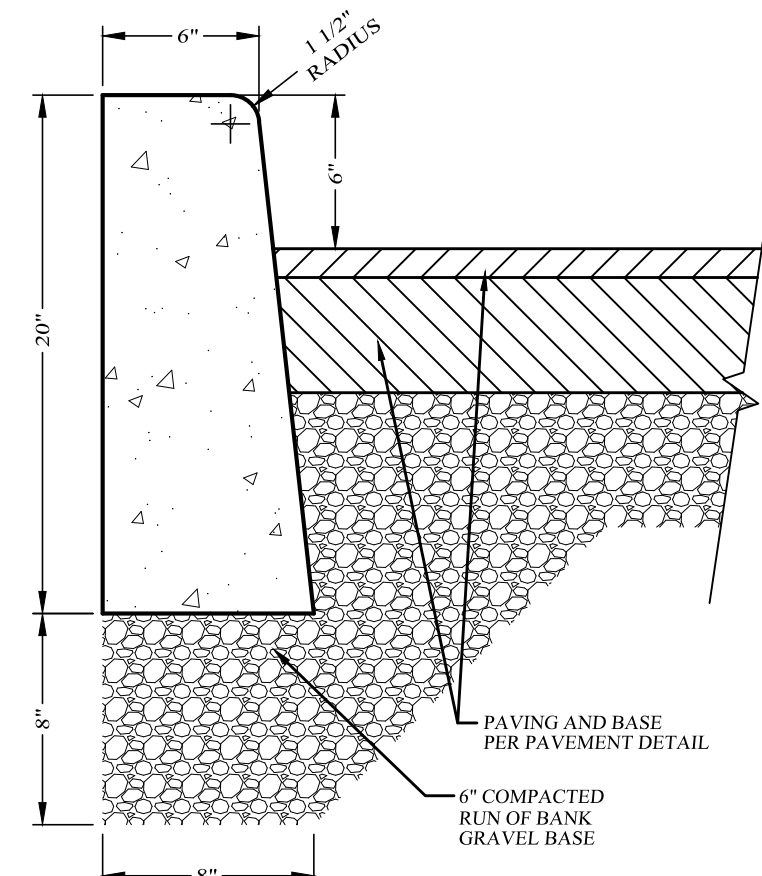


SHADE TREE PLANTING DETAIL
NOT TO SCALE



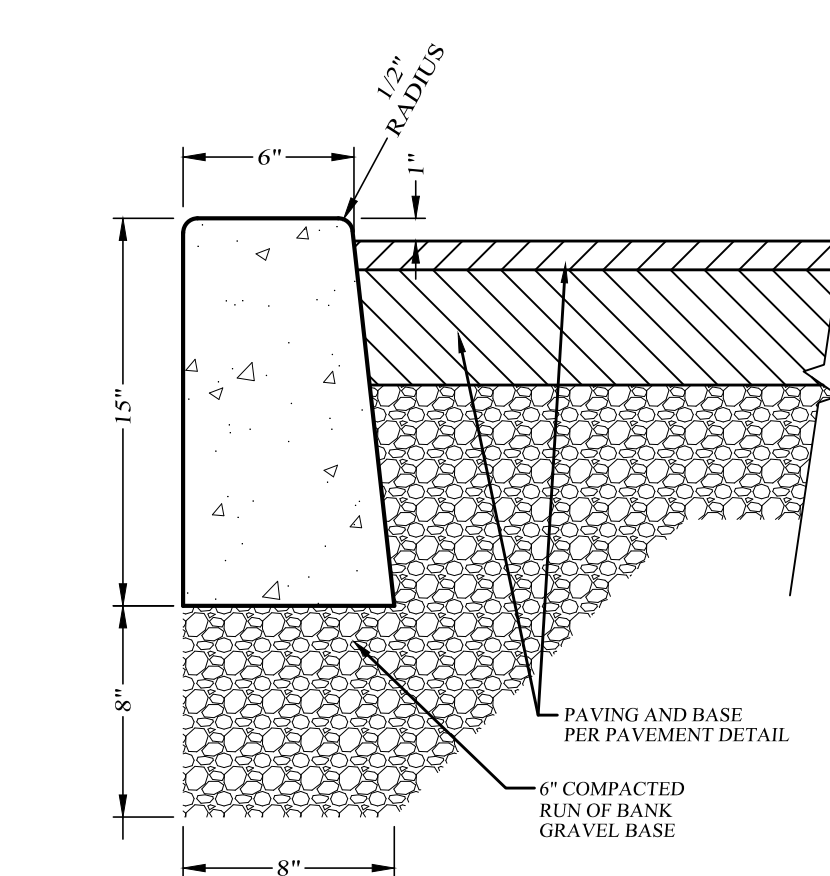
CONCRETE SIDEWALK DETAIL
NOT TO SCALE

- NOTES:
1. SIDEWALKS SHALL BE CAST IN PLACE CONCRETE WITH 1" DEEP JOINTS INSTALLED AT SPACING EQUAL TO THE SIDEWALK WIDTH.
 2. CELLULOSE, OR EQUIVALENT, EXPANSION JOINTS SHALL BE INSTALLED 20 FOOT ON CENTER. IF THE SIDEWALK IS POURED AGAINST CONCRETE CURBS, BUILDINGS OR OTHER STRUCTURES, AN EXPANSION JOINT SHALL BE INSTALLED ALONG THE ENTIRE LENGTH OF CONTACT. SIDEWALKS SHALL SLOPE AWAY FROM BUILDINGS TO PROVIDE POSITIVE DRAINAGE AND CONFORM TO THE LATEST REVISION OF ALL APPLICABLE REGULATORY STANDARDS INCLUDING THE AMERICANS WITH DISABILITIES ACT.
 3. MIX DESIGN SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE GUIDELINES FOR CONCRETE EXPOSED TO FREEZING, THAWING AND DE-ICING CHEMICALS. CONCRETE SHALL HAVE A WATER-CEMENTITIOUS RATIO OF 0.45 AND AIR ENTRAINMENT OF 4 1/2% FOR A 1" NOMINAL AGGREGATE SIZE. CONCRETE TO TEST 4000 PSI AT 28 DAYS.
 4. SIDEWALK SURFACE TO BE A BROOM FINISH WITH GROOVES RUNNING PERPENDICULAR TO THE LENGTH OF SIDEWALK.



CONCRETE CURB DETAIL
NOT TO SCALE

- NOTES:
1. CURB SHALL BE CAST IN PLACE CONCRETE WITH CELLULOSE, OR EQUIVALENT, EXPANSION JOINTS INSTALLED AT TEN (10) FOOT INTERVALS.
 2. MIX DESIGN SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE GUIDELINES FOR CONCRETE EXPOSED TO FREEZING, THAWING AND DE-ICING CHEMICALS. CONCRETE SHALL HAVE A WATER-CEMENTITIOUS RATIO OF 0.45 AND AIR ENTRAINMENT OF 4 1/2% FOR A 1" NOMINAL AGGREGATE SIZE. CONCRETE TO TEST 4000 PSI AT 28 DAYS.



CONCRETE DROP CURB DETAIL
NOT TO SCALE

- NOTES:
1. CURB SHALL BE CAST IN PLACE CONCRETE WITH CELLULOSE, OR EQUIVALENT, EXPANSION JOINTS INSTALLED AT TEN (10) FOOT INTERVALS.
 2. MIX DESIGN SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE GUIDELINES FOR CONCRETE EXPOSED TO FREEZING, THAWING AND DE-ICING CHEMICALS. CONCRETE SHALL HAVE A WATER-CEMENTITIOUS RATIO OF 0.45 AND AIR ENTRAINMENT OF 4 1/2% FOR A 1" NOMINAL AGGREGATE SIZE. CONCRETE TO TEST 4000 PSI AT 28 DAYS.

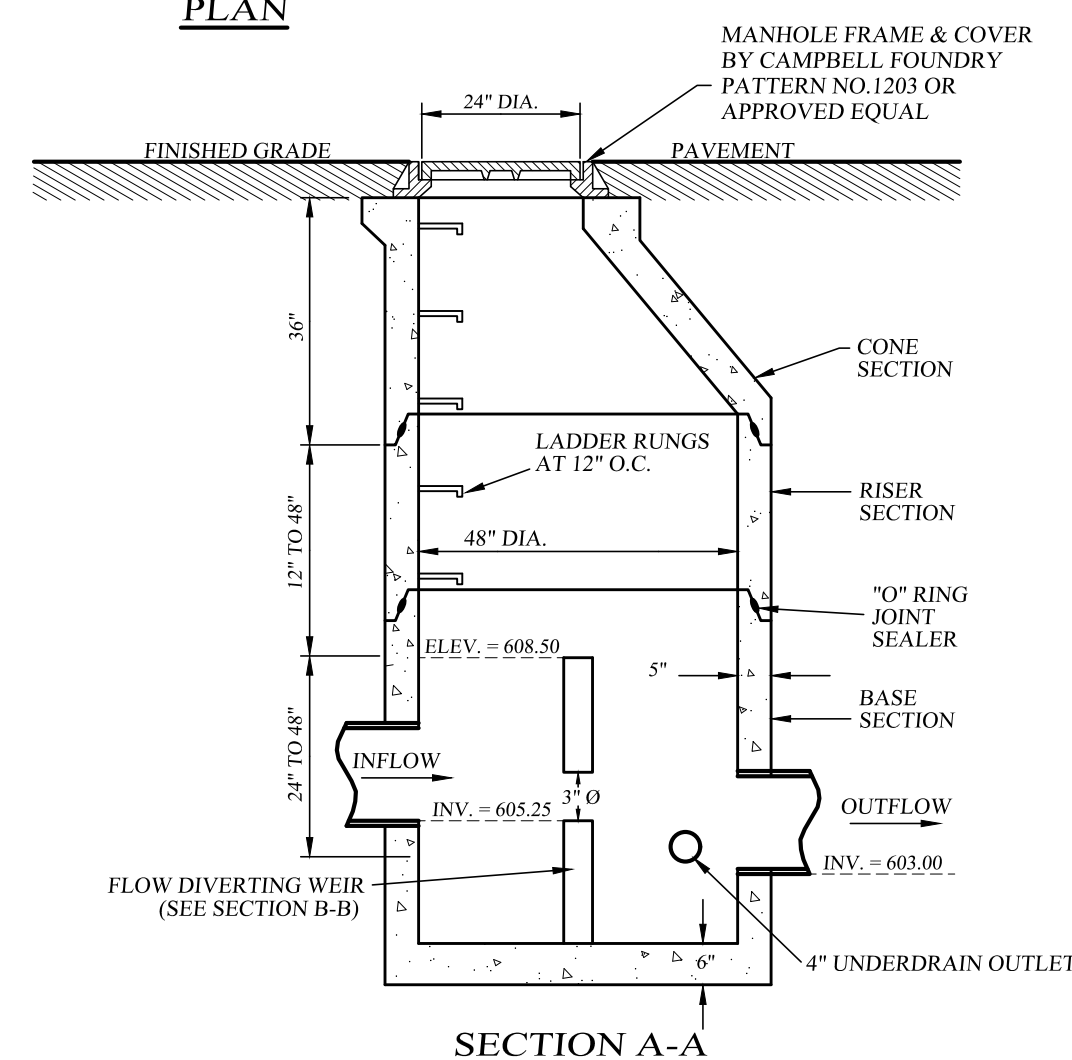
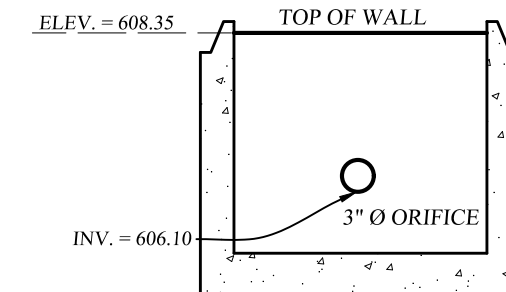
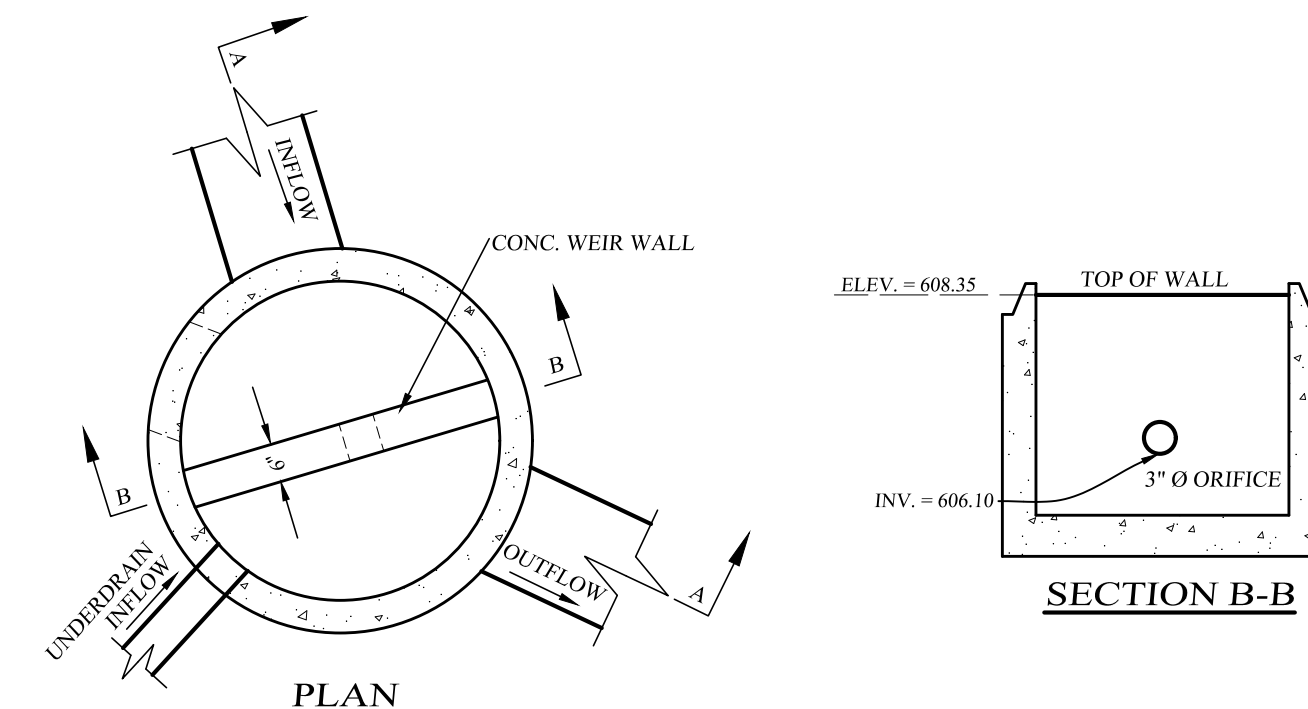
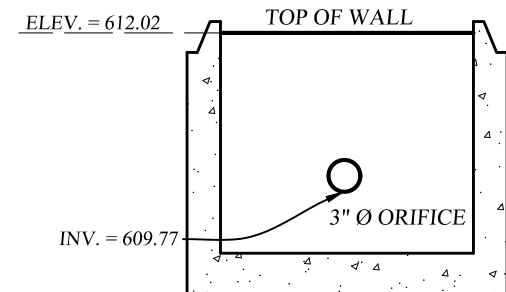
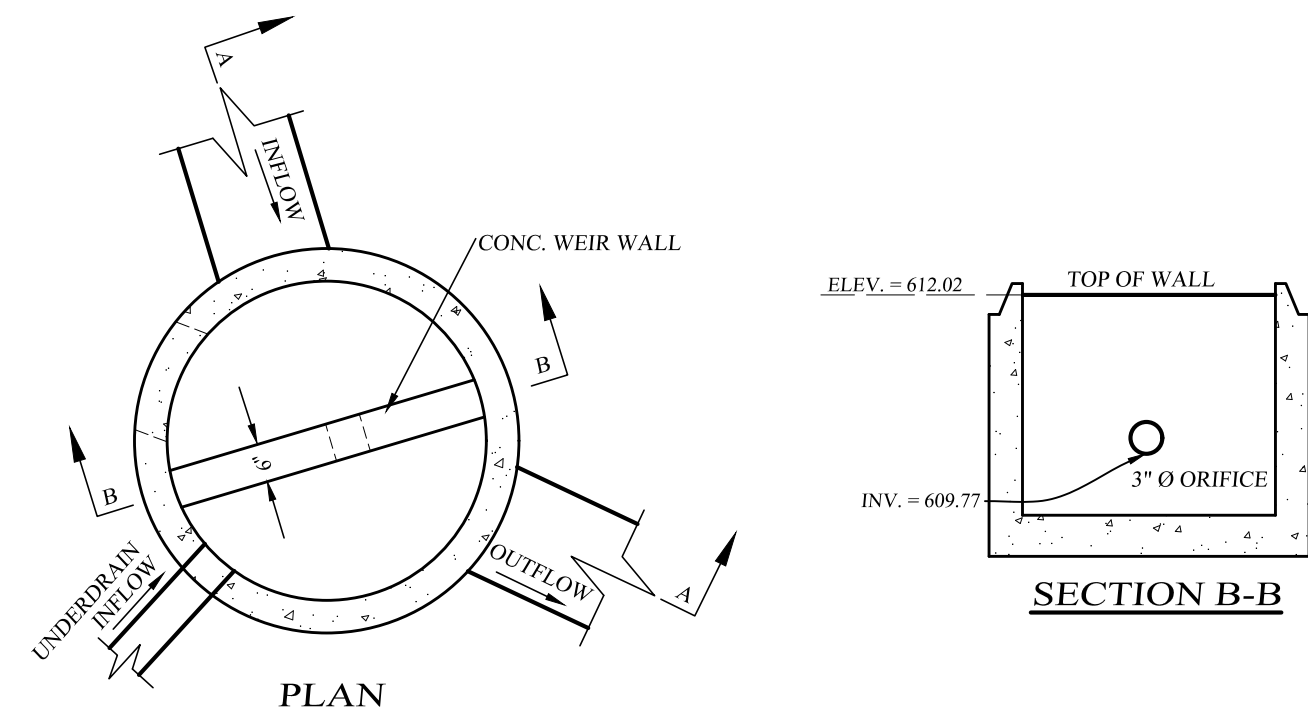
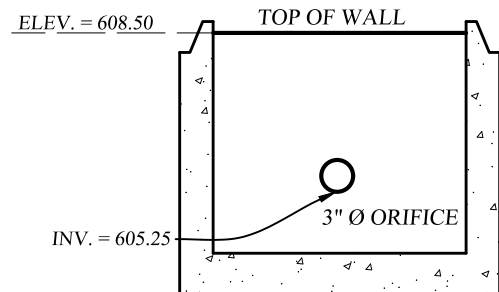
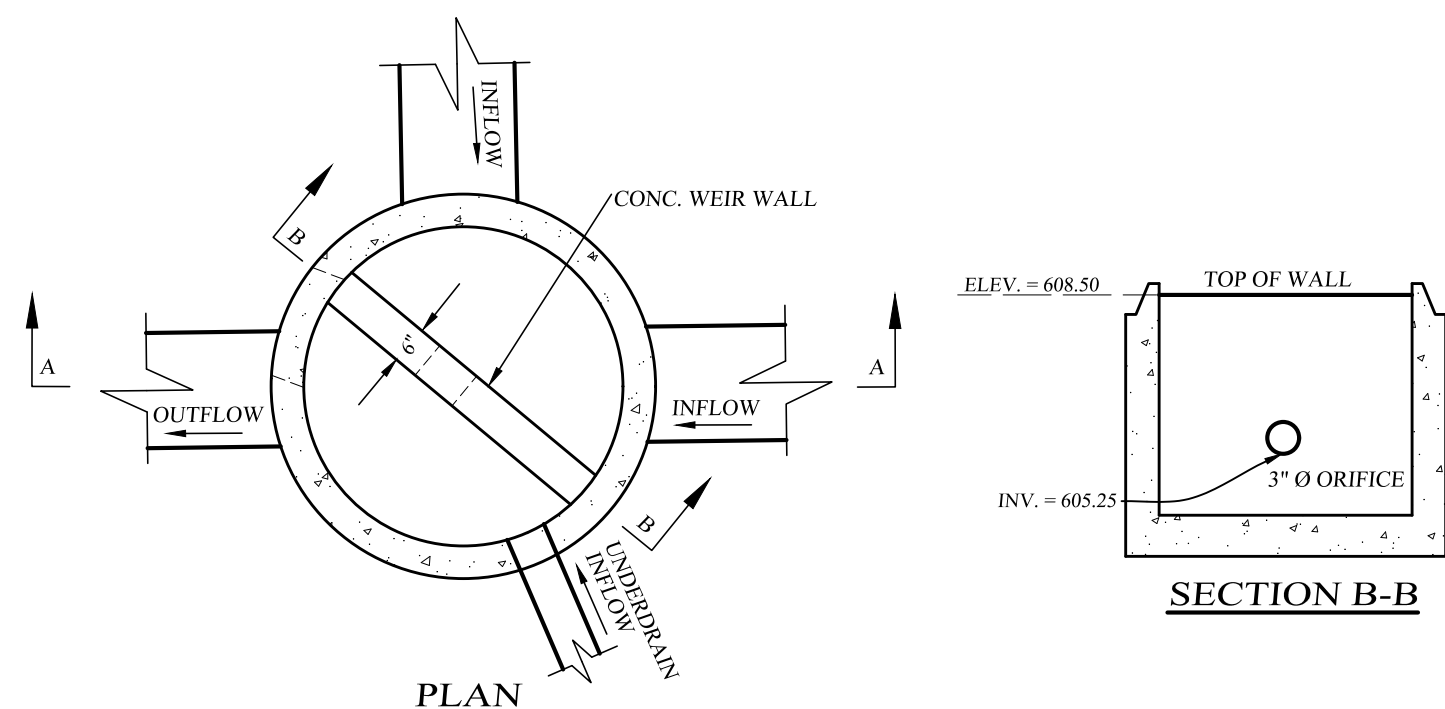
Lands of
**208
BUSINESS CENTER**
VILLAGE OF MONROE, ORANGE COUNTY, NEW YORK

**SITE
DETAILS**

KIRK ROTHER, P.E.
CONSULTING ENGINEER, PLLC
5 St. Stephens Lane, Warwick, NY 10990
(845) 948-0020

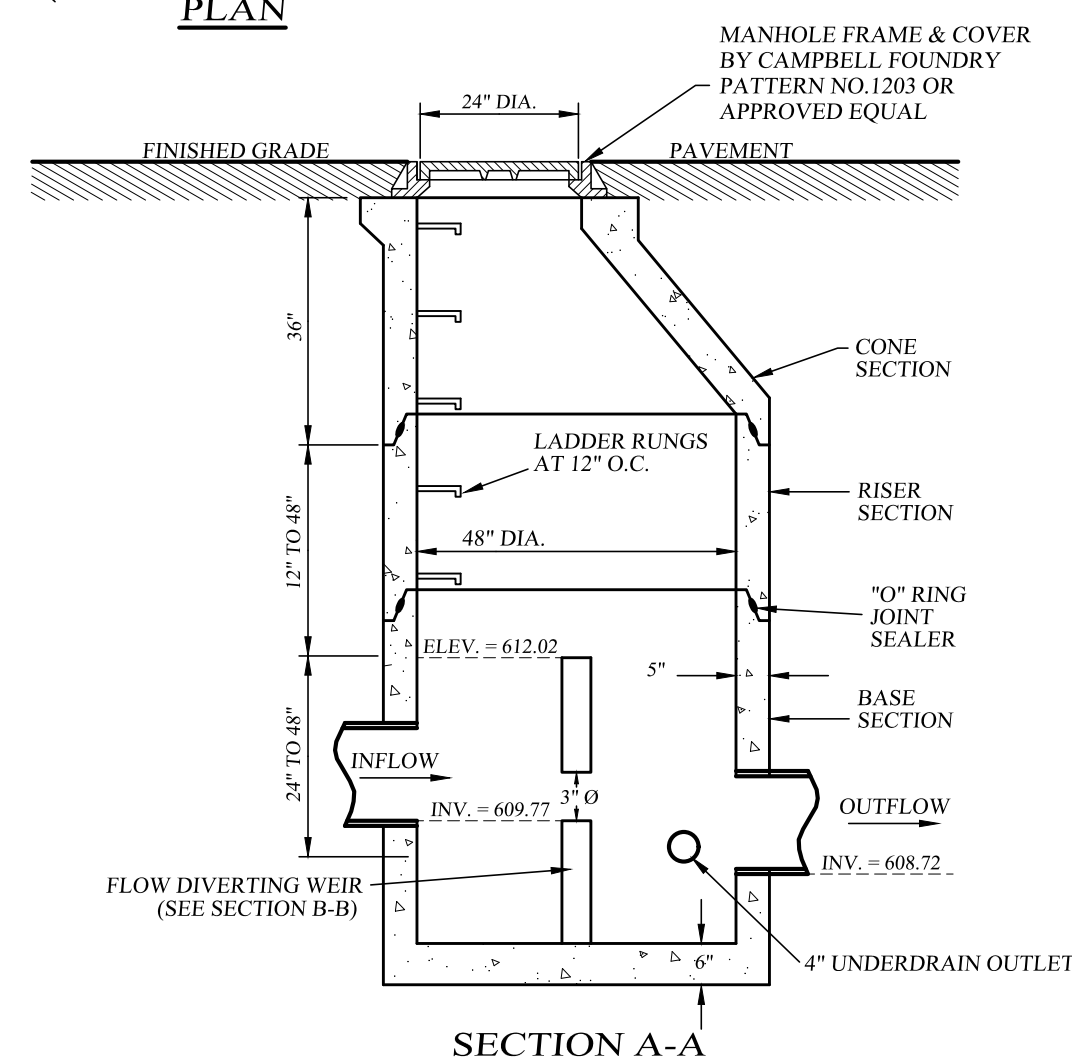
NO.	DATE	REVISION

D.O.T. SHEET #	D.E.C. SHEET #	C.C.H.D. SHEET #	SHEET #
N.A.	N.A.	N.A.	9 OF 15
CAD #	PROJECT #	SCALE	
18118 SP	18118	AS SHOWN	



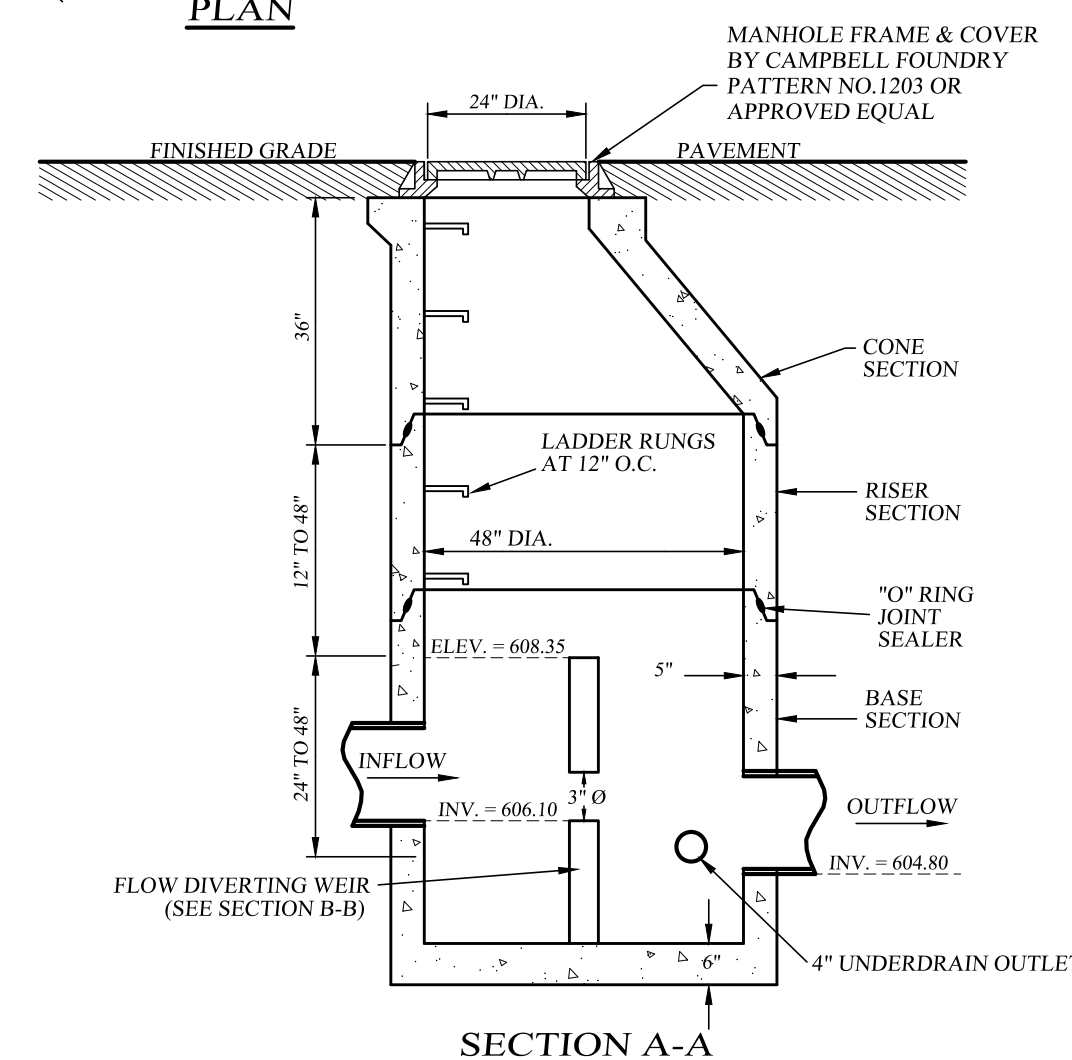
MANHOLES SHALL BE PLACED DIRECTLY ON UNDISTURBED NATURAL SOIL OR A MAXIMUM OF 1" OF SAND IF NEEDED TO ACHIEVE PROPER ELEVATION.
 PRECAST CONCRETE MANHOLE, MFG. BY MODERN CONCRETE SEPTIC TANK CO. OR APPROVED EQUAL

O.C.S. DRAINAGE MANHOLE 1
 NOT TO SCALE



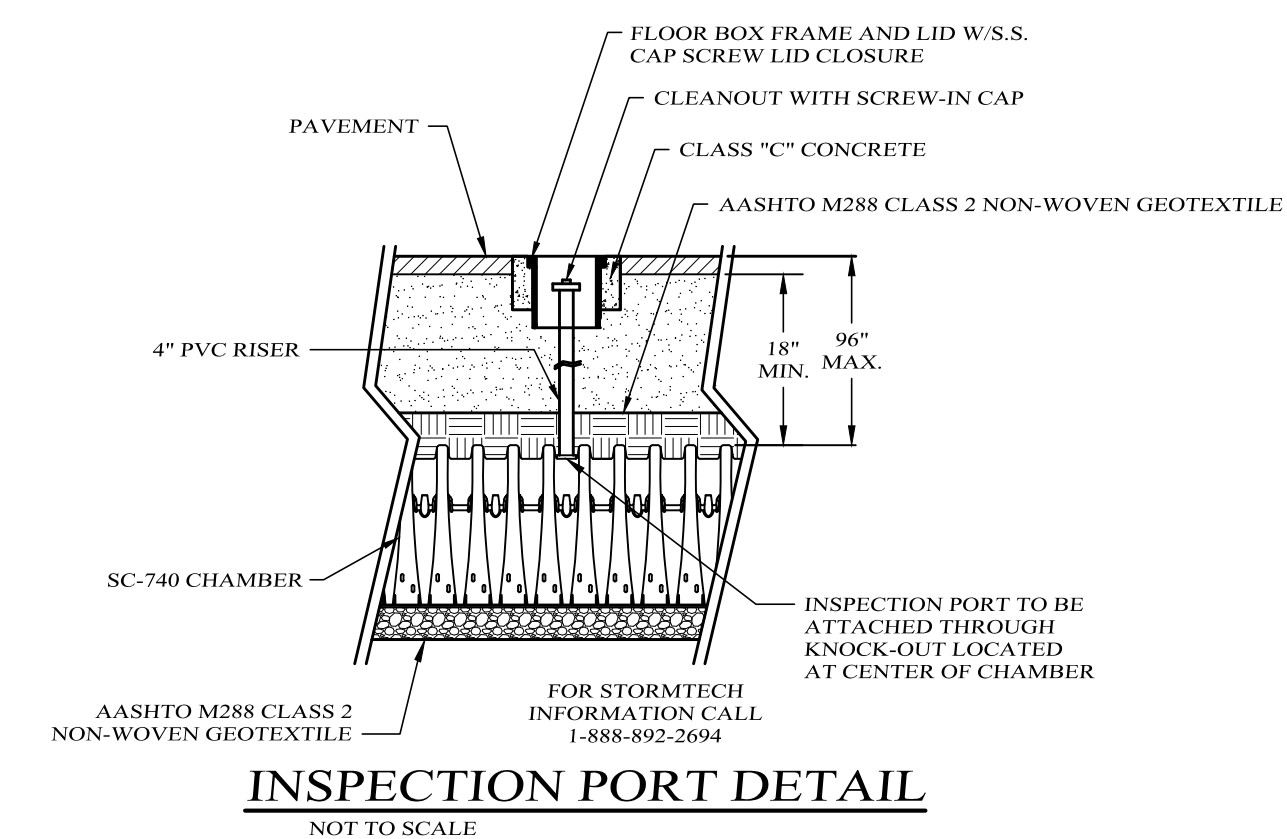
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 PRECAST CONCRETE MANHOLE, MFG. BY MODERN CONCRETE SEPTIC TANK CO. OR APPROVED EQUAL

O.C.S. DRAINAGE MANHOLE 1
 NOT TO SCALE

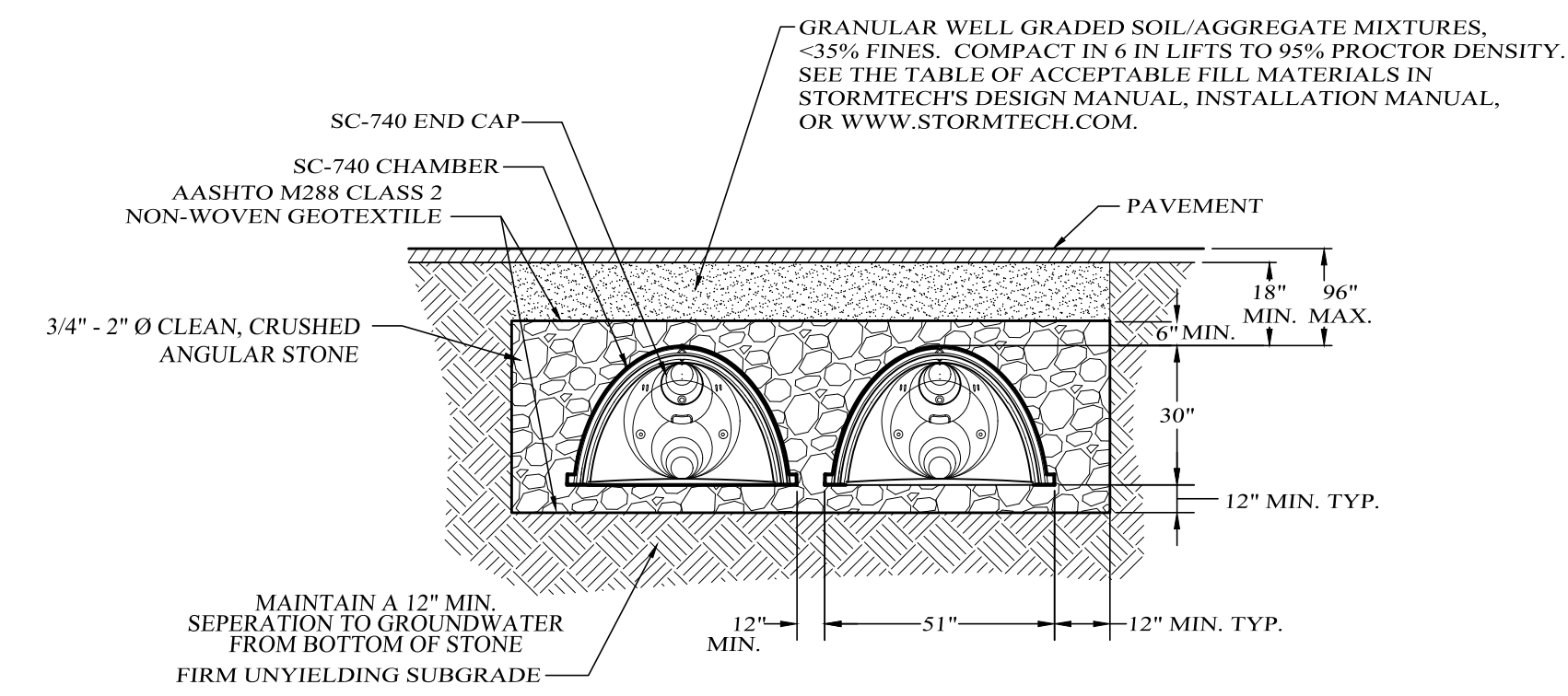


MANHOLES SHALL BE PLACED DIRECTLY ON UNDISTURBED NATURAL SOIL OR A MAXIMUM OF 1" OF SAND IF NEEDED TO ACHIEVE PROPER ELEVATION.
 PRECAST CONCRETE MANHOLE, MFG. BY MODERN CONCRETE SEPTIC TANK CO. OR APPROVED EQUAL

O.C.S. DRAINAGE MANHOLE 1
 NOT TO SCALE



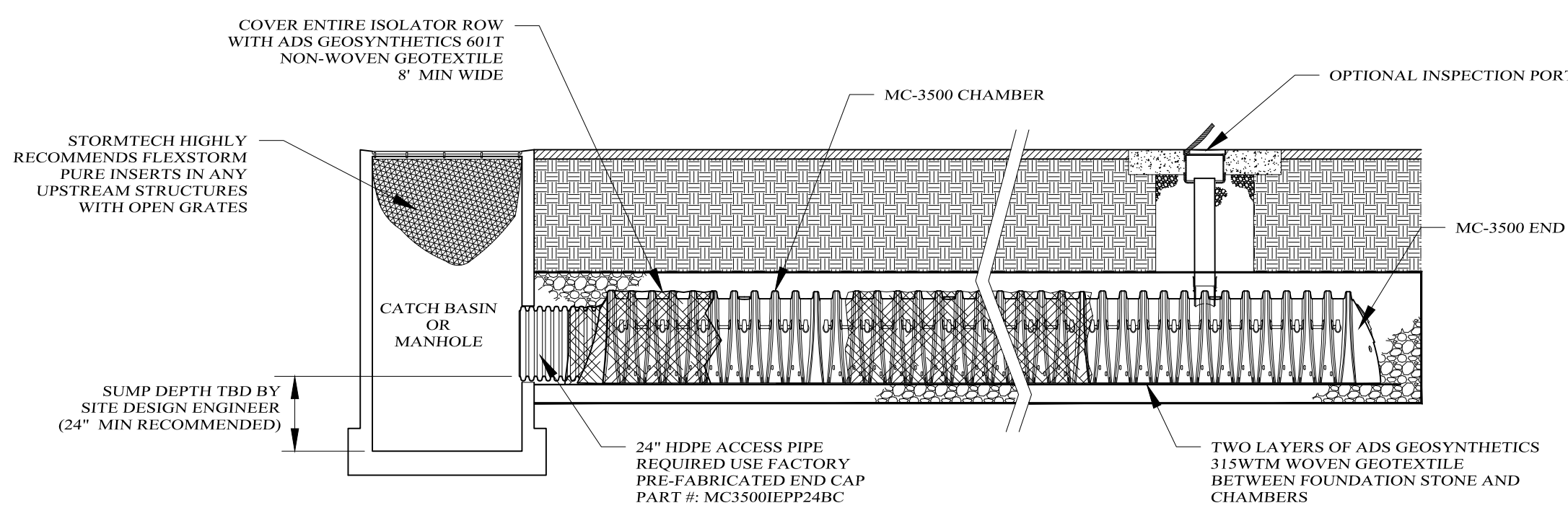
INSPECTION PORT DETAIL
 NOT TO SCALE



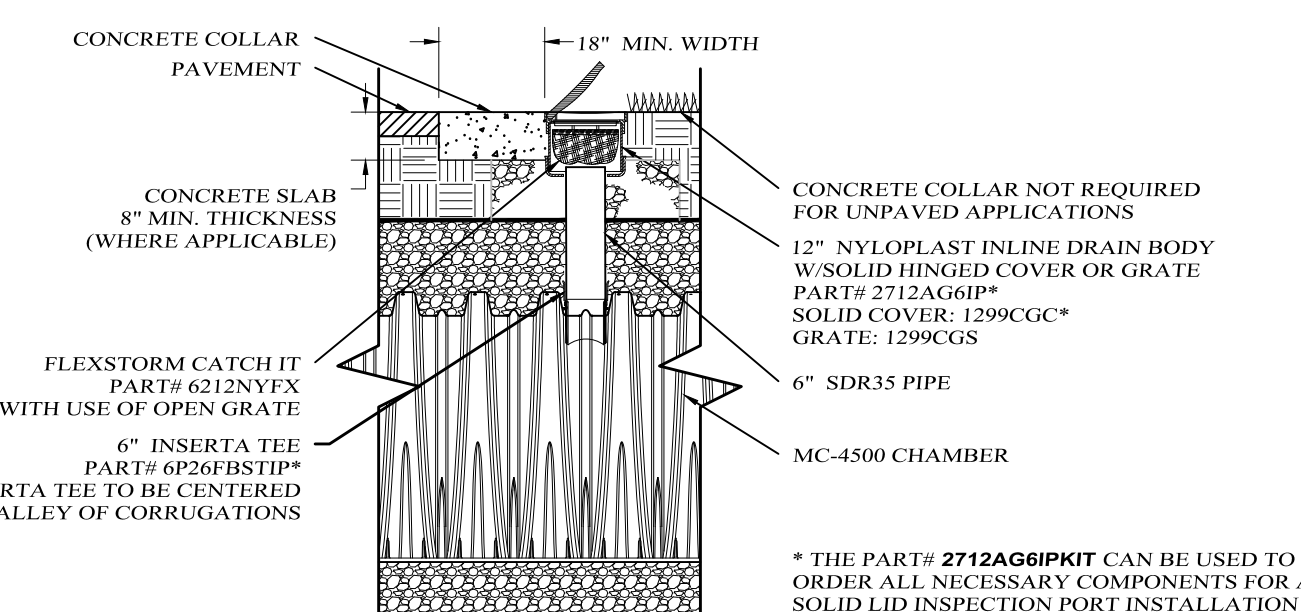
TYPICAL SECTION
 FOR STORMTECH INFORMATION CALL 1-888-892-2694

- NOTES:**
- REFER TO STORMTECH'S DESIGN MANUAL AND INSTALLATION MANUAL FOR DETAILED INSTALLATION INSTRUCTIONS.
 - CHAMBERS SHALL BE INSTALLED AT 0.00% SLOPE AND END CAPPED.
 - STONE SHALL BE 3/4" TO 2" DIAMETER CLEAN, CRUSHED STONE.

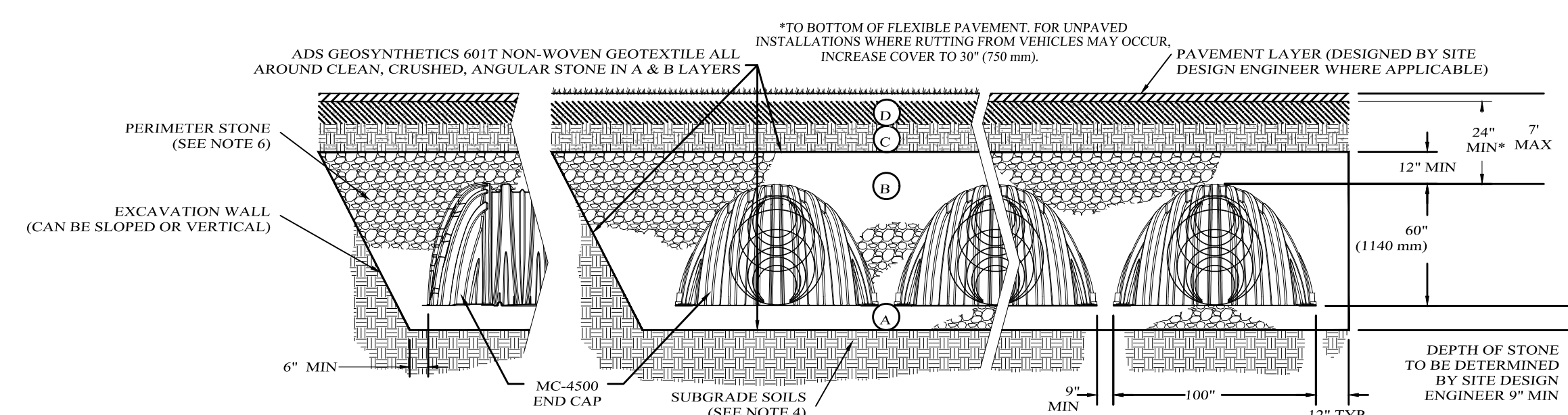
STORMTECH SC - 740
SUBSURFACE STORMWATER MANAGEMENT CHAMBERS
DETAIL
 NOT TO SCALE



MC-4500 ISOLATOR ROW DETAIL
 NOT TO SCALE



MC-4500 6" INSPECTION PORT DETAIL
 NOT TO SCALE



STORMTECH MC-3500 CHAMBER SYSTEMS

*FOR COVER DEPTHS GREATER THAN 7.0' PLEASE CONTACT STORMTECH
 NOT TO SCALE

- NOTES:**
- MC-4500 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - MC-4500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
 - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
 - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

Lands of
208
BUSINESS CENTER
 VILLAGE OF MONROE, ORANGE COUNTY, NEW YORK

STORM CHAMBER
DETAILS

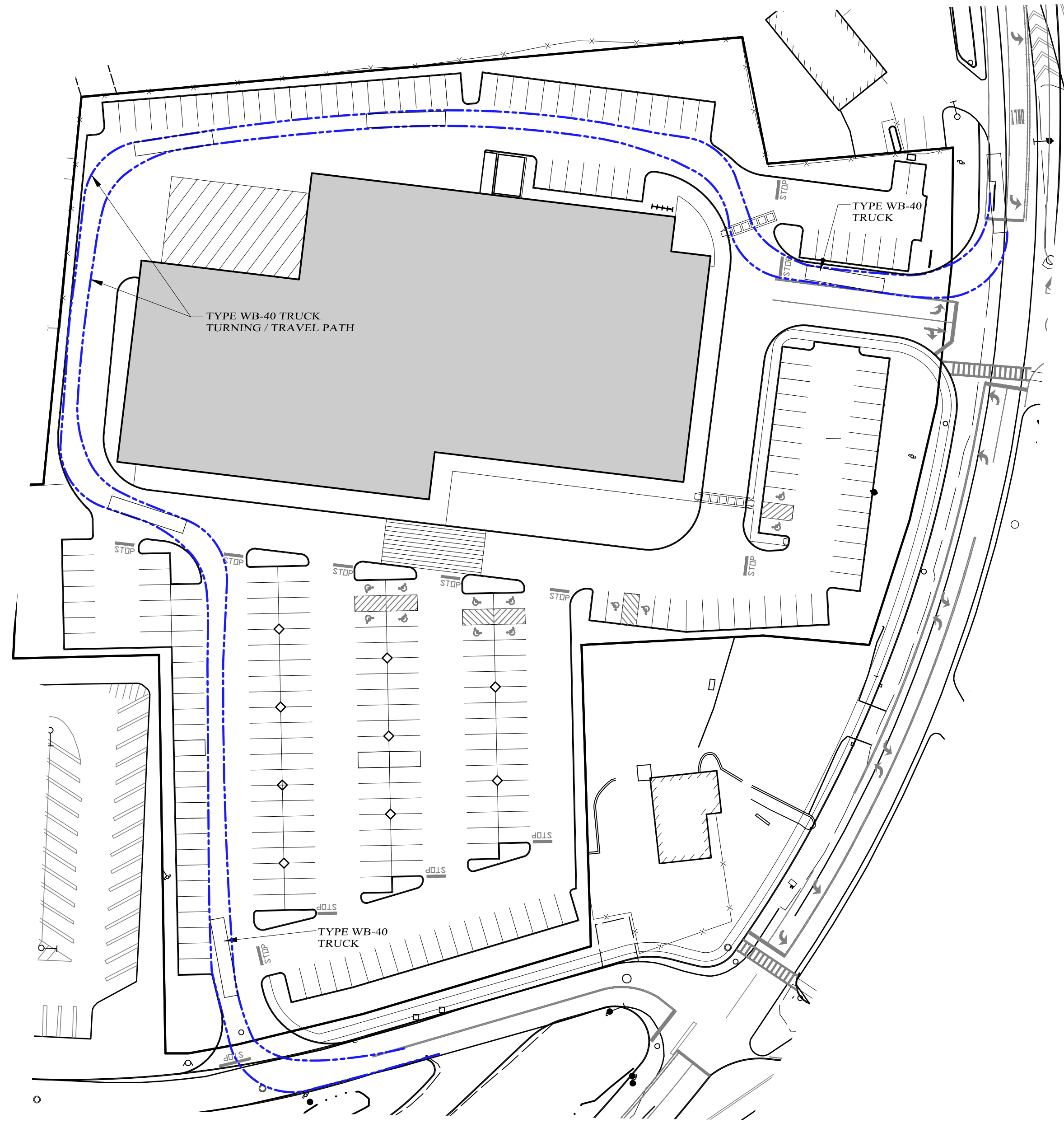
KIRK ROTHER, P.E.
 CONSULTING ENGINEER, PLLC
 5 St. Stephens Lane, Warwick, NY 10990
 (845) 988-0620

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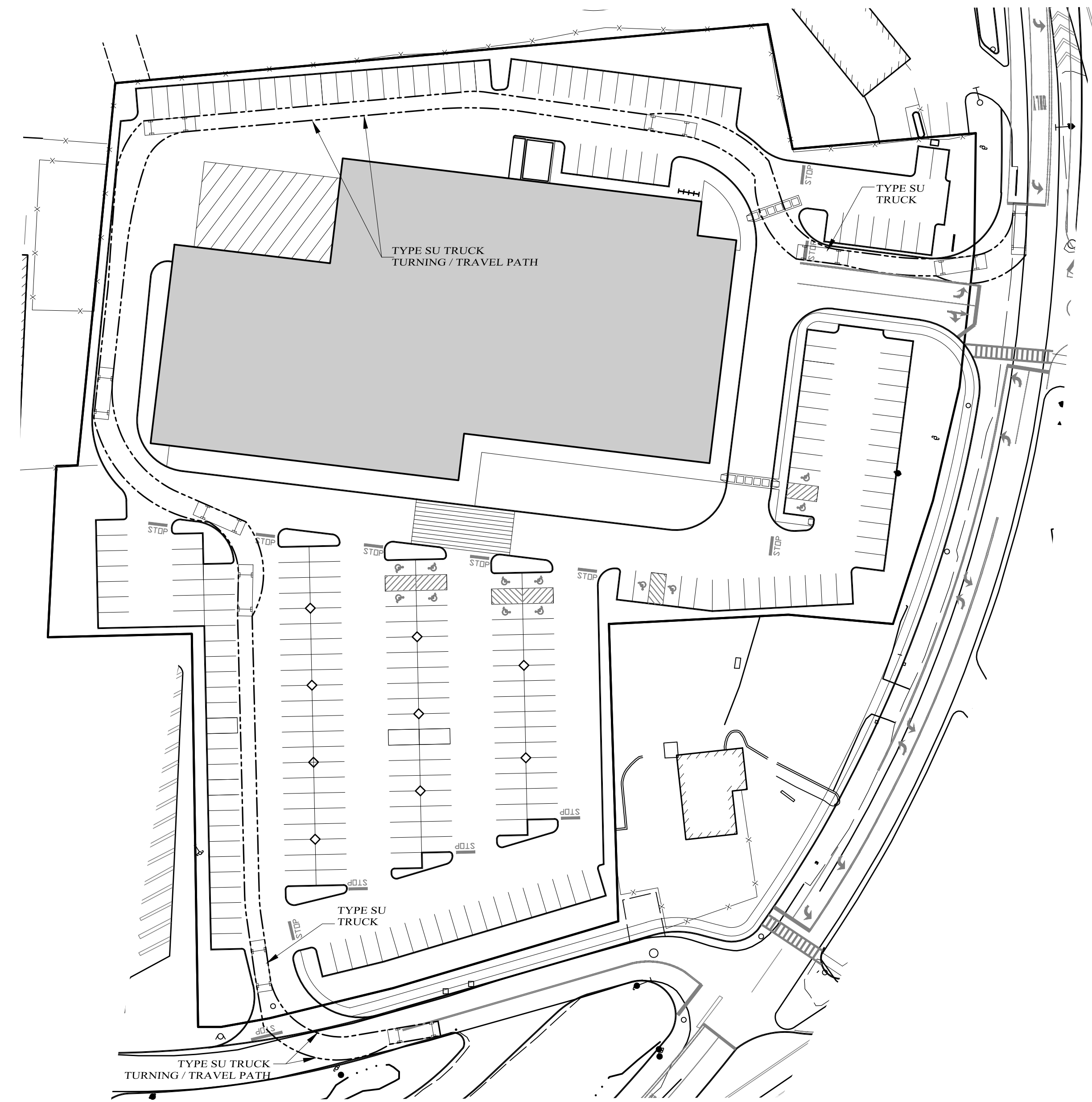
D.O.T. SHEET #	D.E.C. SHEET #	O.C.H.D. SHEET #	SHEET #
N.A.	N.A.	N.A.	11 OF 15
CAD #	PROJECT #	SCALE	
18118 SP	18118	AS SHOWN	

09-12-21 INITIAL PREPARATION

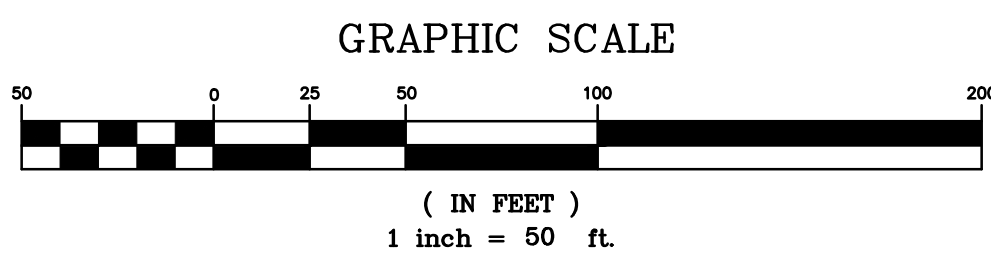
KIRK ROTHER, P.E. N.Y. S.I.C. NO. 079063 DATE



TYPE WB-40 TRUCK TURNING SCHEMATIC



TYPE SU TRUCK TURNING SCHEMATIC



LEGEND

EXISTING PROPERTY LINE	—
EXISTING 2' CONTOUR LINE	—
EXISTING 10' CONTOUR LINE	—
PROPOSED EDGE OF PAVEMENT	—
EXISTING EDGE OF PAVEMENT	—
BUILDING SETBACK LINE	—
EXISTING FENCE	—
EXISTING UTILITY POLE	—
PROPOSED TREE	—

Lands of
208
BUSINESS CENTER
 VILLAGE OF MONROE, ORANGE COUNTY, NEW YORK
 PROJECT TITLE

TRUCK TURNING PLAN
 DRAWING TITLE

KIRK ROTHER, P.E.
 CONSULTING ENGINEER, PLLC
 5 St. Stephens Lane, Warwick, NY 10990
 (845) 944-0620

04-19-23	REV PER DEIS COMMENTS			
12-22-22	INITIAL PREPARATION			
D.O.T. SHEET #	D.E.G. SHEET #	O.C.H.D. SHEET #	SHEET #	
N.A.	N.A.	N.A.	12 OF 15	
CAD #	PROJECT #	SCALE		
18118 SP	18118	AS SHOWN		



PLANTS LIST							
SYMBOL	TYPE	KEY	QTY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	REMARKS
	DECIDUOUS TREES	Ao	X	Acer Rubrum "October Glory"	October Glory Red Maple	3"-3-1/2" c	B4B
		Gt	X	Gleditsia Triacanthos "Inermis"	Skyline Thornless Honeylocust	3"-3-1/2" c	B4B
		Pc	X	Pyrus Calleryana "Whitehouse"	Whitehouse Callery Pear	2"- 2-1/2" c	B4B
		Px	X	Prunus x Yedoensis	Yoshino Cherry	2-1/2"-3" c	B4B
		Tc	X	Tilia Cordata "Greenspire"	Greenspire Linden	3"-3-1/2" c	B4B
	EVERGREEN TREES	Ts	X	Thuja Standishii x Plicata "Green Giant"	Green Giant Arborvitae	6' - 7' hgt	B4B
	EVERGREEN SHRUBS /GROUND COVERS	Bm	X	Buxus Microphylla Japonica "Winter Gem"	Winter Gem Boxwood	30" - 34"	Container
		Jc	X	Juniperus Chinensis "Gold Coast"	Gold Coast Juniper	30" - 34"	Container
		Jh	X	Juniperus Horiz. "Bar Harbor"	Bar Harbor Juniper	2 gal.	B4B
		Rp	X	Rhododendron "FJM"	FJM Rhododendron	30" - 34"	B4B
		Vr	X	Viburnum Rhytidophyllum	Leather Leaf Viburnum	34" - 36"	B4B
	DECIDUOUS SHRUBS	Sj	X	Spiraea Japonica	Little Princess Spiraea	24" - 30"	Container
		Sp	X	Syringa Patula "Miss Kim"	Miss Kim Lilac	30" - 34"	Container
		Pa	X	Fernsetum Alopecuroides "Hainsi"	Dwarf Fountain Grass	24" oc	2 gal.
	GRASSES	An	X	Aster Novi-Belgii	New York Aster	24" oc	1 gal.
		La	X	Lavandula Angustifolia	English Lavender	24" oc	1 gal.



BEFORE YOU DIG, DRILL OR BLAST!
 CALL US TOLL FREE 1-800-367-1362
 NY INDUSTRIAL CODE RULE 153 REQUIRES NO LESS THAN TWO WORKING DAYS NOTICE, BUT NOT MORE THAN TEN DAYS NOTICE.
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09-15-22	Date of Origin
	Description

ESPOSITO & ASSOCIATES
 262 GREENWICH AVENUE
 GOSHEN NY, 10924
 845.234.2558 Fax 845.234.2580

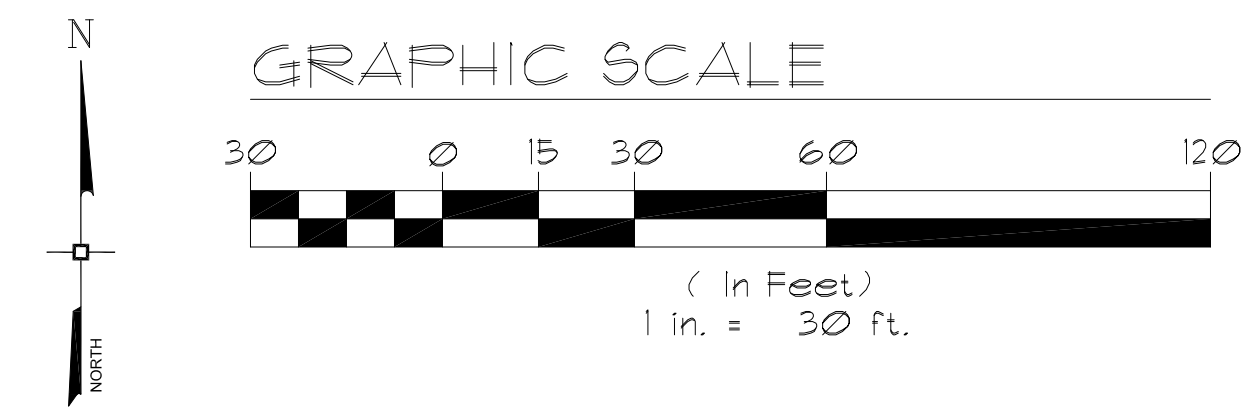


ESPOSITO
 ARCHITECT
 208 BUSINESS CENTER
 VILLAGE OF MONROE
 ORANGE COUNTY, NY

LANDSCAPE PLAN

DRAWING TITLE:
 Unauthorized alteration or addition to a plan bearing a Licensed Land Surveyor's or Professional Engineer's seal is a violation of section 1203, subdivision 2 of the NY State Educational Law.

Scale: 1"=30'	Drawing No.: 13 of 14	Project No.: 22120
CAD Reference: .dwg	O.C.H.D. Sheet No.: of	D.E.C. Sheet No.: of





Acer Rubrum "October Glory"



Prunus Subhirtella "Autumnalis"



Pyrus Calleryana "Whitehouse"



Honey Locust



Thuja Standishii x Plicata "Green Giant"

DECIDUOUS TREES

EVERGREEN TREES

PLANTING SCHEDULE		
TREES & SHRUBS	SPRING PLANTING	FALL PLANTING
EVERGREEN	APRIL 1 - JUNE 30	SEPT. 1 - OCT. 15
DECIDUOUS	MARCH 1 - JUNE 30	OCT. 1 - DEC. 1

- PERMANENT SEEDING SCHEDULE**
- TOPSOIL SHALL BE SPREAD TO A COMPACTED UNIFORM THICKNESS OF 4".
 - TOPSOIL SURFACE SHALL BE FINELY GRADED AND LOOSENED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.
 - FERTILIZER SHALL BE APPLIED AT 6 LBS. OF 5-10-10 COMMERCIAL FERTILIZER/1000 SQ. FT.
 - SEEDING SHALL BE INSTALLED AT 5 LBS./1000 SQ. FT. OF:
 - 60% KENTUCKY BLUE GRASS
 - 20% CHEVINGS FESCUE
 - 20% PERENNIAL RYE



Buxus Sempervirens
English Boxwood



Rhododendron "PJM"



Juniperus Chinensis "Gold Coast"
Gold Coast Juniper



Pieris Japonica
Japanese Andromeda



Lavandula Angustifolia
English Lavender



Aster Novae-Angliae
New England Aster

EVERGREEN SHRUBS

PERENNIALS

UFPO

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Date	Description
09-15-22	Date of Origin

ESPOSITO & ASSOCIATES

262 GREENWICH AVENUE
GOSHEN NY, 10924
845.234.2558 Fax 845.234.2580

ESPOSITO ARCHITECT

208 BUSINESS CENTER
VILLAGE OF MONROE
ORANGE COUNTY, NY

LANDSCAPE DETAILS

DRAWING TITLE:
Unauthorized alteration or addition to a plan bearing a Licensed Land Surveyor's or Professional Engineer's seal is a violation of section 1209, subdivision 2 of the NY State Educational Law.

Scale: N.T.S.	Drawing No.: 14 of 14	Project No.: 22120
CAD Reference: .dwg	O.C.H.D. Sheet No.: of	D.E.C. Sheet No.: of

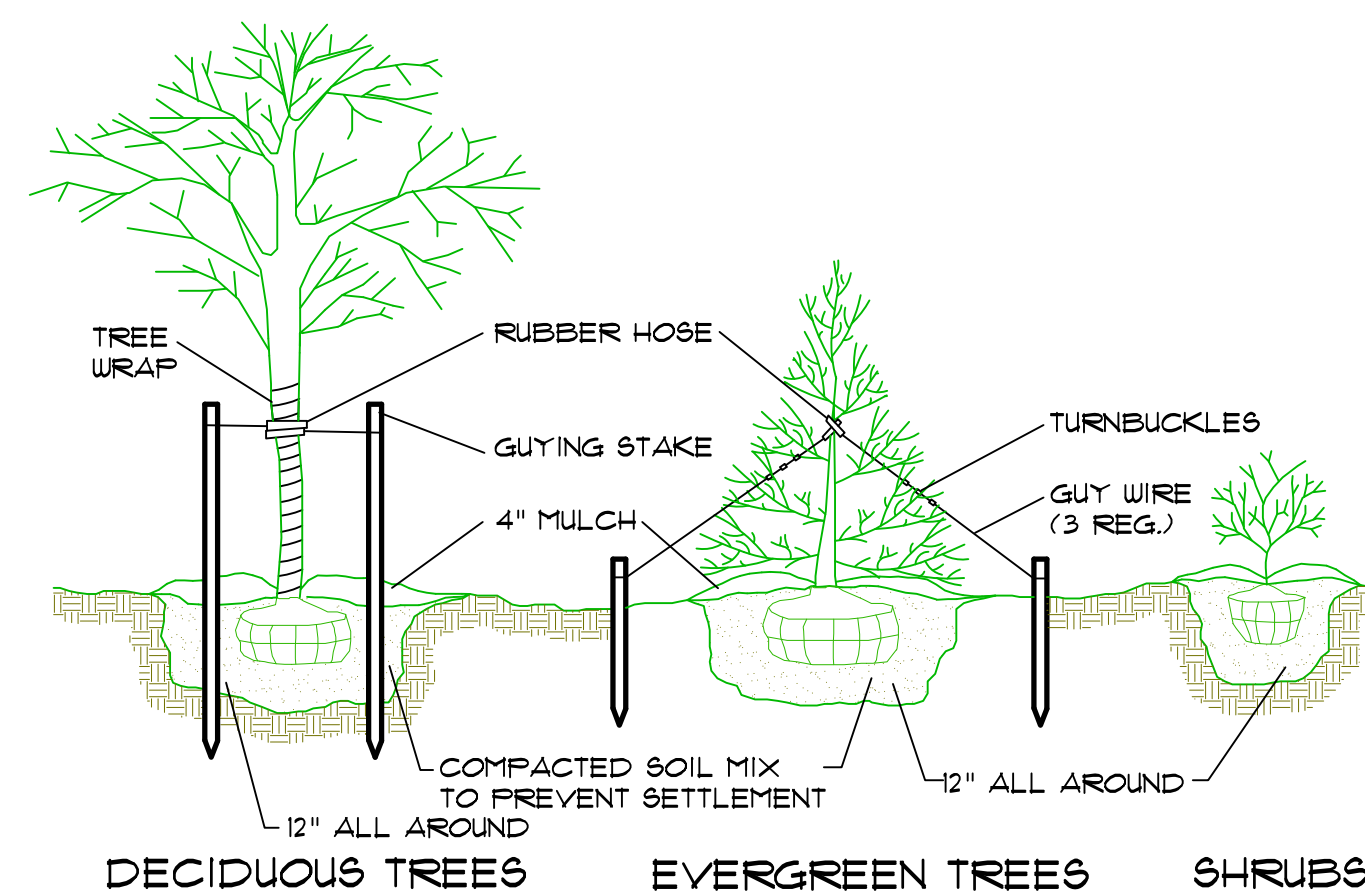


Spiraea Japonica
Little Princess Spiraea



Syringa Patula "Miss Kim"
Miss Kim Lilac

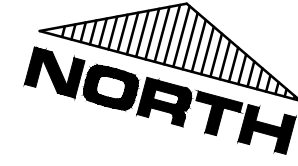
DECIDUOUS SHRUBS



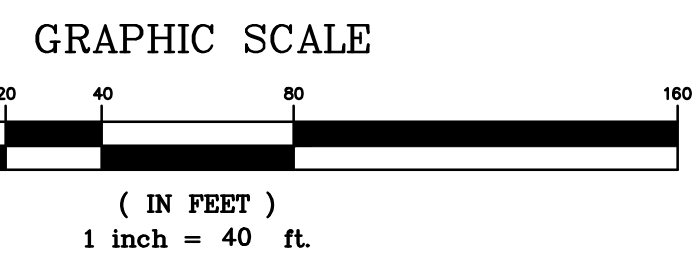
1 PLANTING & GUYING DETAIL
2 N.T.S.

GENERAL PLANTING NOTES:

- PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE OF PROJECT PLANTING. DEAD, DYING, UNHEALTHY AND/OR PLANTS IN POOR CONDITION SHALL BE REPLACED IN THE SAME PLANTING SEASON THAT THE LANDSCAPE ARCHITECT HAS DEEMED THE PLANT UNACCEPTABLE. PLANTINGS THAT REQUIRE REPLACEMENT SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- EXISTING VEGETATION AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE TOPSOILED AND SEEDED UPON COMPLETION OF WORK.
- NEW PLANTING ROOT BALLS REMOVED FROM CANS SHALL BE SCARIFIED PRIOR TO BACKFILLING THE PLANT.
- ALL PLANTINGS SHOWN ON APPROVED SITE DEVELOPMENT PLAN OR SPECIAL PERMIT PLAN SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF CONSTRUCTION AND PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT GROWING SEASON.
- CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (7) CALENDAR DAYS OF NOTICE TO PROCEED.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES AND OBTAIN AS-BUILT INFORMATION. DRAWINGS WERE PREPARED ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (7) CALENDAR DAYS OF NOTICE TO PROCEED OF ANY DISCREPANCIES.
- CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES 48 HOURS MINIMUM PRIOR TO DIGGING FOR VERIFICATION OF ALL UNDERGROUND UTILITIES AND OTHER OBSTRUCTIONS AND COORDINATE WITH OWNER'S REPRESENTATIVE IN WRITING PRIOR TO INITIATING OPERATIONS.
- TYPICALLY, SHRUB AND GROUND-COVER PLANTINGS ARE SHOWN AS MASS PLANTING BEDS. PLANTS SHALL BE PLACED ON A TRIANGULAR SPACING CONFIGURATION (STAGGERED SPACING). PLANT CENTER TO CENTER DIMENSIONS (O.C.) ARE LISTED ON THE PLANT LIST.
- CONTRACTOR SHALL FIELD STAKE THE LOCATIONS OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO ALL EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
- ALL TREES PLANTED IN LAWN AREA SHALL RECEIVE A 4' DIAMETER MULCH RING AT A DEPTH OF 4".
- PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES, THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND SPECIFICATIONS FOR FURTHER AND COMPLETE INSTRUCTIONS.

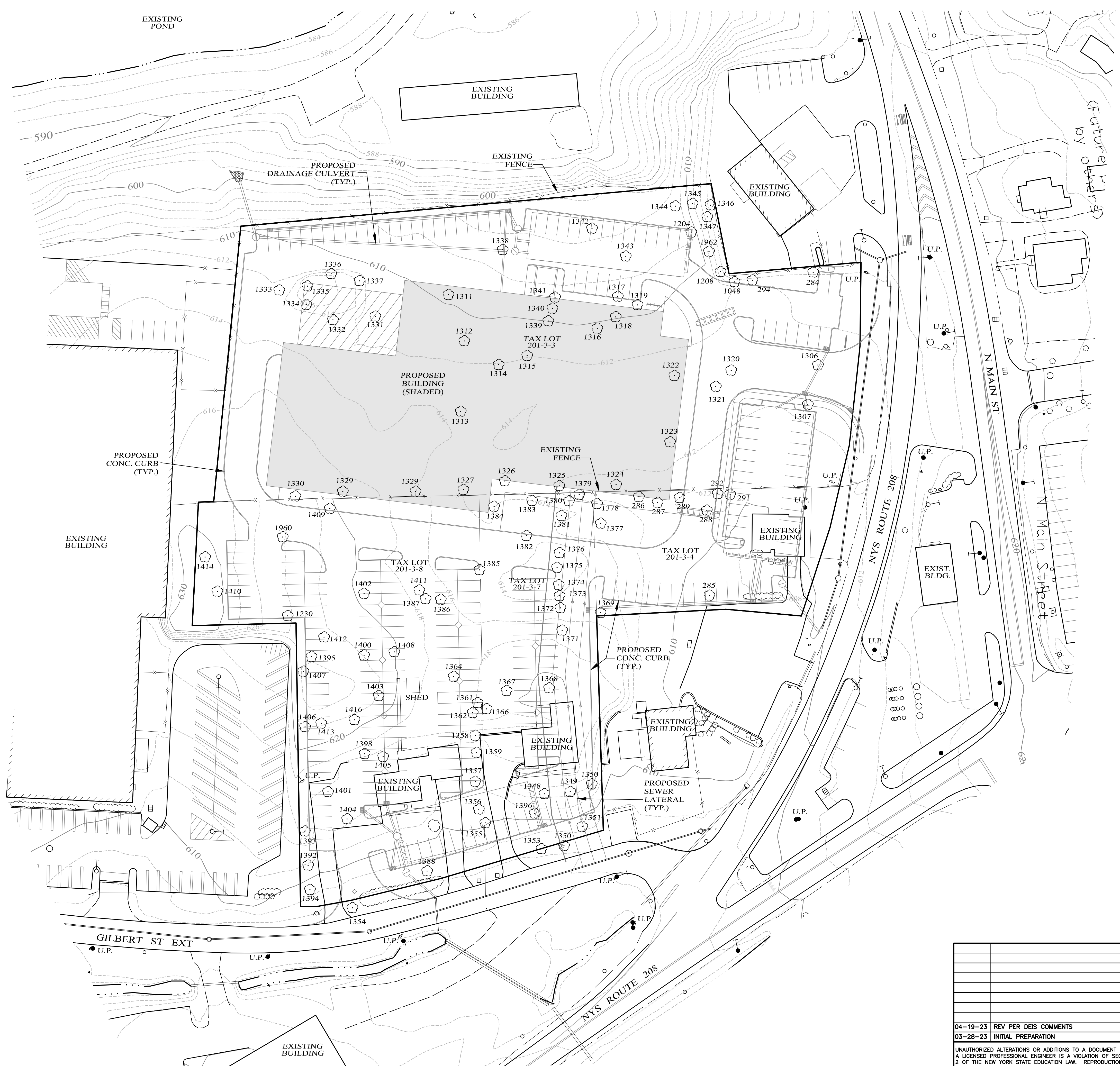


Tag# Species	Size & Condition
1394 Sugar Maple	13" Good
1392 Sugar Maple	13" Good
1393 Sugar Maple	26" Good
1401 Sugar Maple	26" Good
1404 Sugar Maple	28" Good
1405 Sugar Maple	32" Good
1398 Sugar Maple	10" Good
1406 Sugar Maple	18" Good
1413 Sugar Maple	9" Good
1415 Sugar Maple	17" Good
1403 Norway Maple	20" Good
1408 Sugar Maple	15" Good
1400 Sugar Maple	16" Good
1412 Basewood	30" Good
1395 Red Oak	11" Good
1407 Sugar Maple	18" Good
1203 Sugar Maple	14" Good
1410 White Oak	14" Good
1414 Twin Norway Maple	11 1/2" Fair
1960 Sugar Maple	12" Fair
1409 Sugar Maple	27" Fair
1402 Sugar Maple	48" Fair
1411 Twin Norway Maple	21 1/2" Good
1387 Sugar Maple	16" Good
1386 Sugar Maple	9" Good
1385 Elm	15" Good
1384 Twin Norway Spruce	15 1/2" Good
1383 White Oak	18" Good
1382 Silver Maple	37" Good
1381 Sugar Maple	18" Good
1380 Sugar Maple	18" Good
1379 Sugar Maple	20" Good
1378 Locust	24" Good
1377 Locust	36" 24" Poor
1376 Hemlock	14" Good
1375 Hemlock	14" Good
1374 Hemlock	12" Good
1373 Hemlock	13" Good
1372 Hemlock	14" Good
1371 Triple Hemlock	8 7/10" 10" Good
1370 White Oak	9" Good
1369 Maple	32" Good
1368 Twin Silver Maple	24" 24" Good
1367 Sugar Maple	26" Good
1366 Larch	29" Good
1365 Norway Spruce	16" Good
1364 Hemlock	12" Good
1363 Norway Maple	13" Good
1362 White Oak	26" Good
1361 Sugar Maple	32" Good
1360 Red Maple	16" Good
1359 Norway Maple	17" Good
1358 Sugar Maple	12" Good
1357 Norway Maple	17" Good
1356 Sugar Maple	13" Good
1355 Norway Maple	19" Good
1388 White Oak	31" Good
1354 Twin Black Cherry	18" 9" Poor
1353 Sugar Maple	18" Poor
1352 Sugar Maple	10" Fair
1351 Twin Red Oak	30" 28" Good
1350 Hemlock	16" Poor
1349 Norway Maple	14" Good
1348 Sugar Maple	19" Good
291 Sugar Maple	12" Good
292 Sugar Maple	12" Good
288 Sugar Maple	17" Good
289 Unknown 9 Leader Clump	Fair
287 Black Locust	14" Fair
286 Black Locust	18" Fair
285 Douglas Fir	12" Fair
284 Triple Black Locust	8 8/16" Fair
294 Black Locust Clump	9 Leaders Fair
1048 Black Locust	14" Fair
1208 Black Locust	12" Fair
1962 Black Locust	19" Fair
1204 Black Locust	16" Fair
1347 Elm	9" Good
1346 Black Locust	16" Fair
1345 Black Locust	16" Fair
1344 Black Locust	18" Fair
1343 Black Cherry	12" Good
1342 Twin Black Locust	8 6/8" Fair
1341 Black Locust	12" Fair
1340 Black Locust	11 1/4" Fair
1339 Black Cherry	12" Poor
1338 Black Locust	9" Fair
1337 Black Locust	13" Fair
1336 Black Locust	9" Fair
1335 Black Locust	9" Fair
1334 Black Locust	8" Fair
1333 Black Locust	14" Fair
1332 Triple Black Locust	9 8/5" Fair
1331 Black Locust	9" Fair
1330 Black Locust	10" Fair
1329 Black Locust	10" Fair
1328 Cottonwood	10" Good
1327 Black Locust	9" Fair
1326 Cottonwood	9" Good
1325 Larch	14" Fair
1324 Norway Maple	12" Good
1323 Cottonwood	12" Good
1322 Black Locust	14" Fair
1321 Black Locust	12" Fair
1320 Triple Black Locust	16 10/16" Fair
1319 Black Locust	12" Fair
1318 Black Locust	14" Poor
1317 Black Locust	10" Fair
1316 Twin Black Locust	12 10" Fair
1315 Black Locust	8" Fair
1314 Dbl Black Locust	12 1/6" Fair
1313 Black Locust	12" Fair
1312 Twin Black Locust	14 8" Fair
1311 Cottonwood	9" Fair
1310 Black Locust	10" Fair
1309 Black Locust	8" Fair
1308 Black Locust	10" Fair
1307 Black Locust Clump	8 6/6" Fair
1306 Elm	9" Good
1306 Norway Maple	16" Good



LEGEND

EXISTING PROPERTY LINE	---
EXISTING 2' CONTOUR LINE	--- ---
EXISTING 10' CONTOUR LINE	--- --- ---
PROPOSED EDGE OF PAVEMENT	--- --- ---
EXISTING EDGE OF PAVEMENT	--- --- ---
BUILDING SETBACK LINE	--- --- ---
EXISTING FENCE	---x---x---x---
EXISTING UTILITY POLE	---o---o---o---
EXISTING TREE	---o---



Lands of
208
BUSINESS CENTER
VILLAGE OF MONROE, ORANGE COUNTY, NEW YORK

PROJECT TITLE
TREE SURVEY

DRAWING TITLE
KIRK ROTHER, P.E.
CONSULTING ENGINEER, PLLC
5 St. Stephens Lane, Warwick, NY 10990
(845) 948-0620

04-19-23	REV PER DEIS COMMENTS
03-28-23	INITIAL PREPARATION

D.O.T. SHEET #	D.E.C. SHEET #	O.C.H.D. SHEET #	SHEET #
N.A.	N.A.	N.A.	15 OF 15
CAD #	PROJECT #	SCALE	
18118 SP	18118	AS SHOWN	